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Viability Assessment Report on:

Land at Leckwith Quay

Addendum Report No.2

Prepared by:
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22nd August 2022

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1.Introduction

This report has been produced as a result of feedback from the Local Authority and changes to the landscaping, ecology and housing layout, and is to be read as an Addendum Report to the Viability Assessment Report dated 8th July 2020 and the Viability Assessment Addendum Report dated 22nd January 2021

The changes are itemised in more detail in the updated Gleeds Cost Plan V.11.02, included as an Appendix to this report.

The impacts thereof are illustrated in the updated viability appraisal contained herein.

2.Appraisal Allowances

The changes made between V.10 and V.11.02 of the Gleeds Cost Plan are explained in detail on pages 6 – 9 in said report which is included in Appendix i.

Whilst construction costs have increased significantly since the original report, there has also been positive growth in house prices.

A review has thus been undertaken of recently achieved sales prices for comparable dwellings as proposed in the subject scheme, and the average sales price is now in the region of £375/sqft.

3.Viability Appraisal - (see Appendix ii)

The parameters included in the appraisal remain unaltered to those set out in the Viability Assessment Report dated 8th July 2020, save for the following changes :-

Sales Prices – open market income increased to an average of £375/sqft

Development Cost – updated to reflect Gleeds Cost plan V.11.02

Benchmark Land Value – 2020 Value uplifted by RPi

The resultant Appraisal identifies that the following S106 provisions could be sustainable :-

a. Construction of a replacement river bridge
b. 10% affordable housing provision. 80% affordable rent/20% Low Cost Market Housing at 70% MV
c. £300,000 financial contribution to be utilised for adoption of open spaces

4.Conclusion

In summary, the Applicant is able to deliver the much-needed replacement bridge and extended highway improvement works, along with a 10% affordable housing provision, and a financial contribution of £300,000 as his S106 Planning Gain Obligation should Planning Permission be granted for the application submitted.

Appendix i

Gleeds Cost Plan

gleeds

Leckwith Quay

Order of Cost Estimate

CFCM0123 / 11.02

External Confidential - 26 July 2022

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Document control

Project name	Leckwith Quay	**Project number**	CFCM0123
Date of Issue	26 July 2022	**Version number**	11.02
Reason for issue	Order of Cost Estimate		

Document author	Alex Rapley	**Grade**	Project Director
Signature	[redacted]		
Contributors	Luke Sullivan & Angharad Slee		
Approved by	Nigel Watkins	**Grade**	Director
Signature	[redacted]		

Security classification	External Confidential	
Distribution to	Phil Worthing	via Gareth Davies Project Services

Related project documents

Revised design information received 20/05/2022:

Loyn + Co

1844 LECKWITH QUAY - DISTRIBUTION SHEET - OUTLINE PLANNING_APR 22.pdf
1844 LECKWITH QUAY - PROPOSED - SECTIONS S301D.pdf
1844 LECKWITH QUAY - PROPOSED - SITE PLAN S102F.pdf
1844 S404C BLOCK D.pdf
1844 S405C BLOCK E.pdf
1844 SK59.pdf
1844 SK60.pdf
Leckwith updated drawings.msg
1844 LECKWITH QUAY SCHEDULE OF UNITS MAY 2022.xlsx
Email confirming balconies and external access not part of L+C unit areas 15/06/2022

WSP

70053561-002.pdf
70053561-WSP-XX-XX-CE-DR 600 Levels & Contours P01.pdf
70053561-WSP-XX-XX-DR-CE-102 GA OP2 P01.pdf
70053561-WSP-XX-XX-DR-CE-500 DRAINAGE.pdf
FW_ Leckwith Viability Report.msg
33kv and Pilot cable near bridge abutment.pdf
Budget Estimate Leckwith Bridge Overhead line diversion.pdf
Budget Estimate Letter Leckwith.pdf
Budget_Estimate_3960564_1543719_1.pdf

RPS

JSL4323-RPS-XX-EX-DR-L-9001_P02 Landscape GA.pdf
JSL4323-RPS-XX-EX-DR-L-9008_P01 Landscape Spec and Schedule.pdf

GD Project Services

Leckwith Updated Landscape and Ecology.msg

BCIS

BCIS All-in TPI updated 10/06/2022

Related project documents cont'd

Version 10 Design Information (superseded by the above where applicable)

WSP

70053561-XX-XX-103_Departures WSP_DRAFT.PDF
Technical Note Highway Designdocx.pdf
uk.wspgroup.pdf
70053561-XX-XX-100-EXISTING ARRANGEMENT.PDF
70053561-XX-XX-101_GA P01 Draft.pdf
70053561-XX-XX-102 r2_LongSection DRAFT.PDF
Email: RE_ Leckwith Quay - Gleeds-WSP 11.12.19 @ 1039am
3561-WSP-DR-C-200.pdf
WSP Mark Up
SinglePDF0846-01.pdf
SinglePDF0846-02.pdf
SinglePDF0846-03.pdf
SinglePDF0846-04.pdf
SinglePDF0846-05.pdf
SinglePDF0846-06.pdf
Telephone conversation regarding culvert for flood mitigation 25/06/2020

Loyn + Co
1844 LECKWITH QUAY - HOUSE TYPE J DRAWING - AREA 02
1844 LECKWITH QUAY - HOUSING MIX AND PRELIMINARY MASTERPLAN - NOVEMBER 2019
1844 - F101 - LECKWITH QUAY - PROPOSED MASTERPLAN - PRELIMINARY 07.11.19 (1).Dwg
RE_ Leckwith Quay - Gleeds-L+C 11.12.19 @ 1022am
RE_ Leckwith Quay - Gleeds-L+C 11.12.19 @ 1707am

Capita
Leckwith River Bridge and Viaduct Feasibility - November 2016 - Draft V1
Gareth Davies Project Services
Leckwith Utility Services- 13.12.19 @ 2016 pm

1

Executive Summary

Executive Summary

This report has been produced for Phil Worthing and must not be relied upon by any third parties and all quanitites contained in this report are for estimating purposes only and not to be relied upon for any other means.

This report has been updated at the request of Gareth Davies of GD Project Services to capture a revised landscaping, ecology and housing layout strategy received 20 May 2022. This does not replace all the previous information and reference should be made to the document control sheet for the list of the new information.

The brief for the bulk of this report was received 08 November 2019 and discussions have developed regarding the impact that SAB/SuD requirements will have on the Masterplan. A decision was made by Gareth Davies Project Services 04 December 2019 to proceed on the basis of the information uploaded to drobox 20 November 2019.

It is important to stress that the level of information available at this stage is still limited and a significant number of assumptions and general allowances / costs per meter squared have been used in the completion of this report. Please refer to our Key Actions section in Section 5 with our thoughts on the appropriate next steps.

This report is split into four main appendices that provide detail on the following:

Appendix A | Cost Breakdown | Enabling Works / Abnormals	This work entails the site clearance and remediation required to prepare the site for development.
Appendix B | Cost Breakdown | Main Highways Work	This is the cost to demolish the existing bridge and construct the new highways and bridges.
Appendix C | Cost Breakdown | Development Costs	This is the cost of the housing construction. At this stage we do not have a specification for houses and assume traditional methods used.

Please refer to section 2 for our full list of assumptions and exclusions.

The result of the cost plans has been tabled below:

Cost Summary	**m²**	**£/m²**	**%**	**£**
Enabling Works / Abnormals	47,045.00	130.73	9.6%	**6,150,000**
Main Highways Work	6,533.00	795.96	8.1%	**5,200,000**
Development Costs	26,006.00	1,406.98	56.8%	**36,590,000**
Main contractor's preliminaries (Infrastructure Only)	47,045.00	16.37	1.2%	**770,000**
Main contractor's overheads and profit (Infrastructure Only)	47,045.00	8.29	0.6%	**390,000**
Project/design team fees & surveys (on all costs)	47,045.00	61.86	4.5%	**2,910,000**
Risk; notional allowance at this stage (on all costs)	47,045.00	110.75	8.1%	**5,210,000**
Inflation (TPI only from V10 to V11.02)				**7,160,000**
Total; Excl VAT & Inflation	**Nr of units**	**228**	**£282,368/unit**	**64,380,000**

At the date of this report we have not received a programme or sought advice from the market regarding phasing and sequence of works. The report assumes the work will be carried out by one main contractor and in one continuous sequence.

Inflation is included for the period elapsed since version 10 and version 11.02 of this cost plan only. Inflation remains excluded for the tender and construction period pending a programme of works.

Executive Summary

Gleeds' construction cost forecasts are based upon the latest information available from the supply chain. We would, however, note that the construction industry is experiencing unprecedented volatility in costs, supply shortages, and increased project durations. Many factors contribute to the disruption, including the COVID-19 pandemic, which restricted production and the subsequent spike in global demand as economies reopened, and Brexit, which has exacerbated labour issues and impacted materials availability. The Russia-Ukraine war is adding further pressure with additional energy price escalation impacting upon the production and pricing of materials and disrupting international trade. Overall, the impact on the construction industry is significant. As such, we highlight that Gleeds' advice is current at the date of issue but, by necessity, is subject to alteration due to ever-changing circumstances and disruptors within the industry.

Cost Plan Reconciliation V.10 to V.11.02

The below tables show the changes between version 10 and 11.02 following a review of the revised information received 20 May 2022 and 26 July 2022.

APPENDIX A

Element		V.10 cost	V.11.02 cost	Difference	comment
1.01	Allowance for waterproofed podium deck construction with drainage and stone paving to falls – concrete frame and substructure sized to support weight of green roofs; assumed costs for lighting, access control, barriers and vehicle fume ventilation required.	£1,242,600.00	£1,515,250.00	£272,650.00	Area increased from V10 to V11.
1.02	Allowance for tying the podium deck construction back to the house superstructure with waterproofed upstands, movements joints, thermal bridge, level coordination and the like. Provisional allowance.	£261,600.00	£319,000.00	£57,400.00	Area increased from V10 to V11.
1.03	Green Roof composition: 300-600mm Biodiverse planting material included in capping layer quantity, on filter membrane on 100mm granular bed on root barrier on waterproofing layer, to include drainage. Pitch not exceeding 5°; to concrete base or the like; prime concrete with spirit priming solution. Green roof contained within waterproofed concrete planter upstands at [illegible] Allowance for feature lighting included	£432,454.00	£464,160.00	£31,706.00	Green roof build up had not previously been priced. Green roof system @ £170/m² Retaining walls @ £20/m² Feature Lighting @ £50/m² Total net rate used = £240/m²
1.05	Allowance for import of clean cover to back gardens and public green space	£156,484.00	£239,917.00	£83,433.00	Area of hard landscaping decreased and area of soft increased.
1.06	Allowance for radon protection; assumed only DPM barrier required (not needed to green roofs)	£50,040.00	£91,494.00	£41,454.00	Area of hard landscaping decreased and area of soft increased.
3.01	Allowance for mitigation woodland planting, quantum as per GDPS email 20/05/2022	£0.00	£97,000.00	£97,000.00	New detail from GDPS email 20/05/2022
3.02	Allowance for repairs to trail as per GDPS email 20/05/2022. No design, PSUM only	£0.00	£10,000.00	£10,000.00	New detail from GDPS email 20/05/2022
3.03	Allowance for interplanting, extent unknown, assumed 100 trees, smallest possible size as per GDPS email 20/05/2022. No design, PSUM only	£0.00	£60,000.00	£60,000.00	New detail from GDPS email 20/05/2022
3.04	Allowance for enhancing flood storage and providing ecological ponds; Psum	£0.00	£100,000.00	£100,000.00	New detail from GDPS email 20/05/2022
	Carry forward | APPENDIX A:			583,643	

		Bought forward | APPENDIX A:		583,643	
5.01	Amended from Package substation to incoming 2.3MW budget quote from WPD, dated 21/05/21	£140,000.00	£350,000.00	£210,000.00	New detail from WSP email and WPD quotes confirmed 26/07/2022
		Sub Total | APPENDIX A:		793,643	

APPENDIX B

Element	V.10 cost	V.11.02 cost	Difference	comment
Roadworks				
Additional access road to pumping station	£6,097,951.00	£6,258,666.00	£160,715.00	New area of road and footway to access pumping station area.
	Sub Total | APPENDIX B:		160,715	

APPENDIX C

Element	V.10 cost	V.11.02 cost	Difference	comment
Housing				
Change in housing provision	£34,384,625.00	£34,638,275.00	£253,650.00	Overall area of houses has increased since Version 10 but number of units has remained the same.
External works				
Area of hard landscaping replaced with soft	£2,071,022.00	£1,946,577.00	-£124,445.00	Reduction in hard landscaping and increase in soft.
	Sub Total | APPENDIX C:		129,205	

Executive Summary Adjustment

				Version 11.02	Version 10	Diff
Cost Summary	**m²**	**£/m²**	**%**	**£**	**£**	**£**
Enabling Works / Abnormals	47,045.00	130.73	9.6%	**6,150,000**	**5,190,000**	**960,000**
Main Highways Work	6,533.00	795.96	8.1%	**5,200,000**	**5,000,000**	**200,000**
Development Costs	26,006.00	1,406.98	56.8%	**36,590,000**	**36,460,000**	**130,000**
Main contractor's preliminaries (Infrastructure Only)	47,045.00	16.37	1.2%	**770,000**	**750,000**	**20,000**
Main contractor's overheads and profit (Infrastructure Only)	47,045.00	8.29	0.6%	**390,000**	**380,000**	**10,000**
Project/design team fees & surveys (on all costs)	47,045.00	61.86	4.5%	**2,910,000**	**2,870,000**	**40,000**
Risk; notional allowance at this stage (on all costs)	47,045.00	110.75	8.1%	**5,210,000**	**5,070,000**	**140,000**
Inflation (TPI only from V10 to V11.02)				**7,160,000**	**0**	**7,160,000**
Total; Excl VAT & Inflation	**Nr of units**	**228**	**£282,368/unit**	**64,380,000**	**55,720,000**	**8,660,000**

2

Assumptions and Exclusions

Assumptions and Exclusions

It should be noted that the construction industry is currently experiencing changing market conditions with the supply chain becoming increasingly selective in the opportunities they pursue. This is leading to some pricing volatility with projects being considered based on procurement route, risk apportionment, programme and robustness of tender documentation. The number of major tier one contractors both suitable and available for sizeable and complex schemes is becoming more limited with projects tending to be favoured where price and programme risk are fairly shared. In addition, the lack of contractor in-house resources coupled with the potential cost of tendering may also dissuade contractors from tendering. This is starting to have a knock on effect generally.

All quantities contained in this report are for estimating purposes only and must no be relied upon for any other means.

This report has been produced for Phil Worthing and should not be relied upon by any third party.

The below table shows the assumptions and exclusion taken by Gleeds in the formation of this cost exercise.

Ref	Item	Included	Excluded	Not Applicable	Comments
		✓	×	×	
1	Costs - In connection with land acquisition		×		
2	Costs - In connection with funding of project		×		
3	Fees - In connection with Planning	✓			
4	Costs - Demolition works	✓			Based on Cardiff Demolition Quotation dated 03/12/19
5	Costs - Construction of Shell and Core	✓			Included in house type costs
6	Costs - Category A Fit-Out		×		Assumed purchasers will be responsible for floor finishes
7	Costs - Category B Fit-Out		×		
8	Programme - Costs in connection with phasing/section completions		×		We have assumed this will all be carried out in one phase
9	Construction Risks - Discovery of archaeological remains		×		An allowance has been made for a watching brief
10	Construction Risks - Discovery of unexploded devices		×		There is no specific item to cover this potential cost and will need to be covered by the general contingency
11	Construction Risks - Extra cost of disposing of hazardous and non-hazardous excavated material	✓			Specific risk allowance included; full extent is unknown. Assumed 20% of all material for disposal
12	Costs - Direct works by Employer		×		It is assumed that all works will be undertaken by a main contractor
13	Employer Risks - Effects of exchange rates		×		

14	Employer Risks - Effects of inflation		×		Programme unknown
15	Construction Risks - Removal of asbestos	✓			Specific risk allowance included; full extent unknown
16	Construction Risks - Removal of toxic waste	✓			Specific risk allowance included; full extent unknown
17	Construction Risks - Treatment of invasive plant growth	✓			Specific risk allowance included; full extent unknown
18	Construction Risks - Protection of 'Protected' trees		×		Assumed none are present
19	Construction Risks - Dealing with presence of endangered species		×		Awaiting ecological report. Cost includes for 5nr. Bat boxes only
20	Construction Risks - Restricted working hours and/or routines		×		
21	Construction Risks - Works in connection with party wall awards		×		It is assumed that the works to the boundary are required as a matter of course and we have not allowed for additional costs arising from party wall discussions
22	Construction Risks - Costs in connection with diversion of existing services	✓			Full extent of diversions at this stage are unknown. Assumed 132kV overhead supply will not be diverted. No allowances have been made for agreement of wayleaves
23	Construction Risks - Costs in connection with upgrading existing services	✓			Notional allowance for upgrading offsite substation
24	Costs - In connection with decanting and re-location, including fitting-out of temporary accommodation, rents and running costs		×		It is assumed that vacant possession will be achieved prior to work starting
25	Costs - In connection with fittings, furnishings and equipment which do not form part of the building contract		×		
26	Fees - In connection with Project and Design Team consultants	✓			
27	Fees and Charges - In connection with Site investigations	✓			
28	Fees - In connection with Specialist support consultants (including Letting agents, Legal, Tax adviser, etc.) investigation fees and charges		×		

29	Fees - Main Contractor's pre-construction fees		×		
30	Fees - In connection with Main Contractor's design consultants	✓			
31	Fees - In connection with Building Control	✓			
32	Fees - In connection with oversailing rights		×		Assumed no oversailing issues
33	Fees - In connection with party wall awards		×		
34	Fees - In connection with rights of lights agreements		×		
35	Fees - In connection with other agreements between Client and neighbours to facilitate project completion		×		
36	Fees -Building scheme registration fees (e.g. NHBC Buildmark)		×		Assumed this will form part of the overall appraisal
37	Fees - In connection with licences, permits and agreements not normally paid by Contractor		×		
38	Charges - Adoption charges in connection with highways		×		
39	Costs - In connection with maintenance of highways		×		No allowance made for commuted sums
40	Charges - Adoption charges in connection with services - i.e. sewerage, water, electricity and gas		×		Assumed all new services will be privately owned or managed by an IDNO
41	Costs - In connection with maintenance of services - i.e. sewerage, water, electricity and gas	✓			Allowances included as well as sewerage infrastructure charges
42	Contributions - Direct financial contributions in connection with planning consent - i.e. Section 106 and Section 278 contributions		×		Assumed this will form part of the overall appraisal
43	Costs - In connection with maintenance of environmental improvement works		×		This cost plan is for capital expenditure only. All maintenance cost is excluded
44	Costs - Works outside the boundary of the site/working area		×		
45	Insurances - In connection with the works; to be taken out by the Employer, including insurance premium tax (IPT)		×		Deemed included in Main Contractor's Prelims. Savings might be available should the Employer take out the relevant insurances

46	Fees and Charges - In connection with fieldwork carried out by archaeologists	✓			Allowance included in the enabling works for a desktop study and budget for a three week watching brief
47	Fees and Charges - In connection with fieldwork carried out by specialists		×		
48	Costs - Tenant's costs		×		
49	Contributions - Tenant's contributions		×		
50	Marketing Costs - Launch event		×		
51	Marketing Costs - Site based advertising (e.g. sales hoardings)		×		
52	Marketing Costs - Show units and marketing suites		×		
53	Marketing Costs - Operating costs associated with show units and marketing suites		×		
54	Marketing Costs - Sales/Marketing literature		×		
55	Tax - Capital Allowances		×		
56	Tax - Other tax allowances		×		
57	Incentives - Grants		×		
58	Flood defence works		×		We have not yet had input from NRW regarding the extent of any specific flood defence works. This remains a risk.
59	Flood mitigation measures are a provisional sum and include an allowance for a bypass culvert. There is currently no design information to define the exact flood mitigation measures required	✓			
60	Bus Stops		×		No allowances have been made for bus stops as none are shown in current design
61	Acoustics		×		No allowances have been made for acoustic treatments as a result of the new highway
62	Improvement to the riparian zone		×		No specific allowances have been included for works associated with the riparian zone.
63	Where net areas have been provided by the architect, these areas have been divided by 0.8 to equal gross areas				Assumed 80% net to gross efficiency on the areas of the house types.

64	Under croft Parking & Podium deck	✓			Refer to the cost plan reconciliation tab for explanation between undercroft parking and podium deck.
65	Assumed affordable housing provision remains as per previous schedule. Adjustment to units numbers only made on open market housing	✓			Refer to area details for assumptions

3

Cost Summary

Gleeds Collection Sheet

Ref.	Item		Cost £
1	Enabling Works / Abnormals		6,150,000
2	Main Highways Work		5,200,000
3	Development Costs		36,590,000
	Sub Total: Facilitating works and Building Works		**47,940,000**
4	Main contractor's preliminaries (Infrastructure Only)		770,000
5	Main contractor's overheads and profit (Infrastructure Only)		390,000
	Total: Building Works Estimate		**49,100,000**
6	Project/design team fees & surveys (on all costs)		2,910,000
7	Other development/project costs		Excluded
	Base Cost Estimate		**52,010,000**
8	Risk; notional allowance at this stage (on all costs)	10.0%	5,210,000
	Cost Limit (excluding Inflation)		**57,220,000**
9	Inflation; pending outline programme, uplift applied for time between V10 and V11.02 using BCIS TPI only		7,160,000
	V10 Base date is 1Q2021	328	
	V11.02 Base date is 3Q2022	369	
	Cost Limit (excluding VAT assessment)		**64,380,000**
10	Value Added Tax		Excluded
	Cost Limit (including VAT assessment)		**64,380,000**

All costs rounded up to the nearest ten thousand

4

Risks

Summary of main risks

Ref	
1	Measures related to flood protection
2	Measures to protect ecology
3	Archaeological finds during excavations and demolitions
4	Extent of contamination
5	Geotechnical investigations and ground conditions
6	Offsite infrastructure upgrades and on-site diversions; overhead power lines in particular
7	Incoming supplies and suitable service routes
8	Cost and time associated with wayleaves for services
9	Condition of existing drainage to make new connections
10	Extent of asbestos contaminated material
11	Conservation officer assessments and requirements i.e. works to historic Leckwith Bridge
12	Unknown buried structures and services
13	Damp proofing and tanking issues in semi-basements and under croft parking
14	Tenure mix and market values and their relationship to securing planning permission and development viability
15	Diversion of the arterial Leckwith road
16	Demolition of the existing Leckwith road in close proximity to the grade II listed bridge
17	Traffic management of the new road and demolition of the old
18	Extent of cut and fill and slope stability. Information is limited at this stage
19	Extent and impact of storm and flood water attenuation. Potential for green roofs and extensive excavations to site attenuation provisions
20	Scale and quality of current drawn information. This report is based on early stage information
21	Allowance of £20,000 for repairs to the old bridge
22	Quantity of proposed tree planting and the potential for these to require tree pits and grills. Pits and grills are currently excluded
23	Current market inflation. Refer to the statement included in the Executive Summary

5

Key Actions

Summary of key actions to progress project

Ref	
1	Complete all site surveys required to understand geotechnical constraints and suitable sample for assessment of the contamination present
2	Finalise requirement of flood defences and water attenuation
3	Carry out detailed cut and fill review
4	Carry out review of site services loadings and assess the offsite resilience to support the site
5	Assess viability and adjust density within constraints of planning discussions
6	Fix the masterplan and progress to RIBA stage 3 to enable a formal cost report and/or negotiations with a main contractor
7	Value management process following stage 3 to refine the design
8	Progress/continue planning dialogue
9	Progress to RIBA stage 4 design (before or after contractor; to be discussed)
10	Seek interest from the market and hold discussion on appropriate procurement route
11	Progress contract and tender development
12	Issue tender documents for pricing
13	Analysis and appointment of contractor
14	Whilst 5 to 12 occur carry out letting of an enabling works package to reduce overall programme duration

6

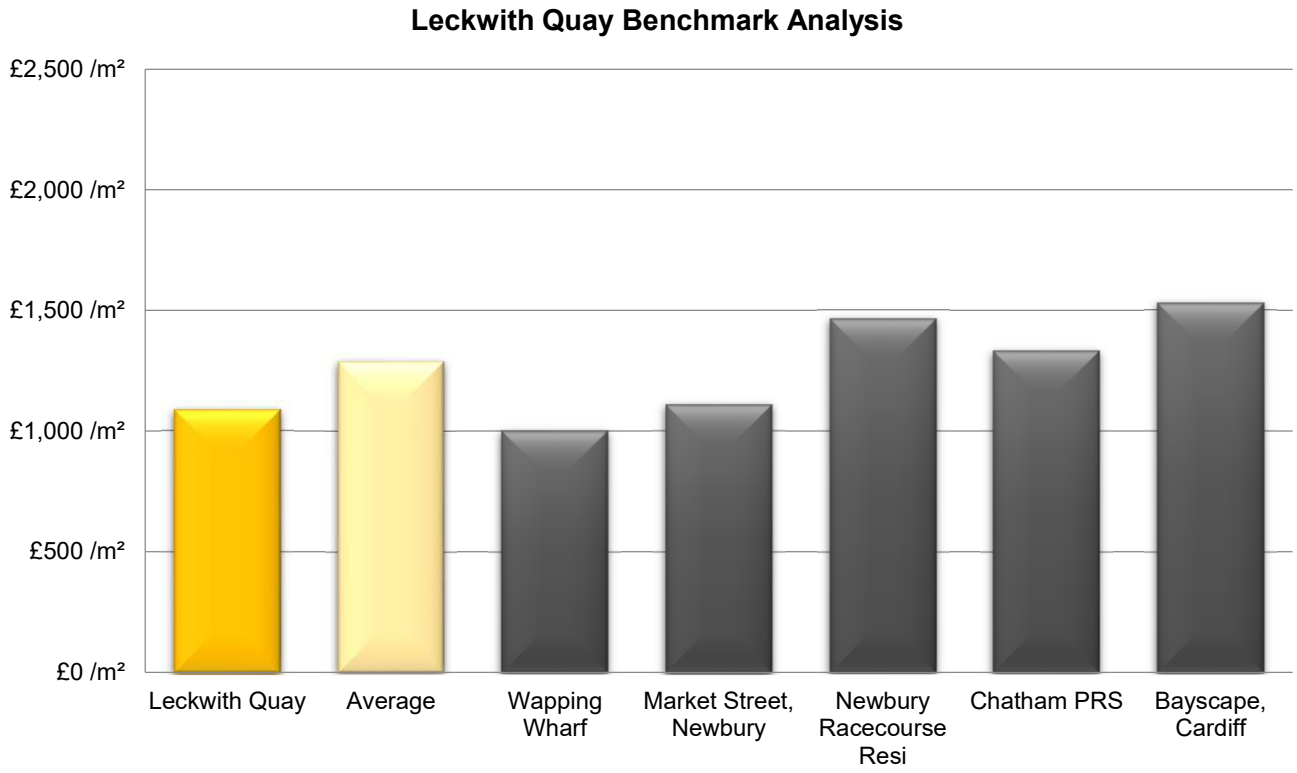
Benchmarking

BENCHMARKING ANALYSIS

General Comments

1 The following section seeks to provide some comparative analysis of the costs for Leckwith Quay. Given the early stage of the project we have sought to compare the costs of similar projects and where possible using projects in waterside locations.

2 The graph below shows the Gleeds typical benchmark ranges of cost for different types of residential developments. Any external works and loose fittings and furnishings are excluded from the below.



3 Benchmark costs exclude design fees, risk and external works and infrastructure.

4 As can be seen from the graph above Leckwith Quay is approximately £192 / m² below the average benchmark, once the abnormal costs such as the podium decks to provide car parking spaces are removed.

Notes:

1. Figures represent costs per square metre of total gross internal floor area
2. All costs remain rebased for the version 10 report to 1Q 2021 and for regional variances
3. These are construction costs excluding, prelims, OH&P, fees and VAT

Uplift to Vale of Glamorgan Construction Costs

Building Costs per sq m

	2 Storey Estate Housing		Uplift (4Q13-1Q20)		Flats (Low Rise)		Uplift (4Q13-1Q20)	
Baseline	£	916	£	1,255	£	1,083	£	1,484
Externals and Infrastructure	£	-	£	-	£	-	£	-
Sub-Total (1)	£	916	£	1,254.92	£	1,083	£	1,484
Less 5% Contractor return	£	46	£	63.02	£	54.15	£	74
Sub Total (2)	£	870	£	1,192	£	1,029	£	1,410
Location Factor		100		100		100		100
Working Cost	£	870	£	1,192	£	1,029	£	1,410

4Q2013	239
1Q2021	328
	137%

Information provided by Peter Thomas shows uplift from previously issued Vale of Glamorgan Construction Benchmark Data

7

Area Summary

Significant measurements

Description by Usage	OCE | m² Areas GEA m²	OCE | m² Areas GIA m²	OCE | ft² Areas GEA ft²	OCE | ft² Areas GIA ft²
Masterplan				
Site Area (Red line boundary)		47,045		506,392
Area of main carriageway		6,533		70,321
Area of hard landscaping (incl onsite roads)		14,468		155,734
Area of soft landscaping (excluding green roofs)		5,083		54,713
Area of houses		26,006		279,929
Sub Total | Masterplan:	**n/a**	**n/a**	**n/a**	**n/a**
Nr of units		228		
Total		**228**		

BASIS & ASSUMPTIONS

The information available for this report has not enabled an RICS compliant measure of the gross internal areas. Marked up plans from WSP have been used and scaled where possible using dimensions of the road width annotated on the drawings. The house GIA's have been provided by Loyn + Co Ltd.

TABLE 1: Leckwith Quay House Type Schedule - PAC PROPOSAL

	Market	Affordable 3P5P HOUSE	Market	Market	Affordable 2B FLAT	Market	Market	Market	Market	Market	Affordable 3P5P HOUSE	Market	Market	Affordable 3P5P HOUSE	Affordable 3P5P HOUSE	Affordable 3P5P HOUSE			Net Internal Area (NIA)	General circulation & WC`s	Gross Internal Area (GIA)	Gross External Area (GEA)	Net to Gross	External Wall Area	Floor: Wall Ratio
	House Type A	House Type B1	House Type B2	Duplex Apartment Type 7	Apartment Type A**	Apartment Type A**	Duplex Apartment Type 5**	Duplex Apartment Type 6**	House Type E1	House Type E2	House Type C	House Type D	Duplex Apartment Type 1**	Duplex Apartment Type 1B**	Duplex Apartment Type 1D**	Duplex Apartment Type 2**	Duplex Apartment Type 3**	Duplex Apartment Type 4**							
	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²		m²	
NIFA	**125**	**116**	**116**	**73**	**70**	**70**	**81**	**118**	**178**	**178**	**96**	**165**	**94**	**94**	**94**	**94**	**113**	**113**							
Area 01	875	812	1,392	1,314	3,500	-	-	-	-	-	-	-	-	-	-	-	-	-	7,893	2,285	10,178		78%		-
Area 02	-	-	-	-	280	1,890	-	-	534	712	768	-	564	564	188	1,316	-	-	6,816	1,210	8,026		85%		0%
Area 03	-	-	-	-	-	-	-	-	-	-	-	990	-	-	-	-	3,390	2,712	7,092	710	7,802		91%		0%
Total	**875**	**812**	**1,392**	**1,314**	**3,780**	**1,890**	**-**	**-**	**534**	**712**	**768**	**990**	**564**	**564**	**188**	**1,316**	**3,390**	**2,712**	**21,801**	**4,205**	**26,006**	**-**	**84%**		

469

	House Type A	House Type B1	House Type B2	Duplex Apartment Type 7	Apartment Type A	Apartment Type A	Duplex Apartment Type 5	Duplex Apartment Type 6	House Type E1	House Type E2	House Type C	House Type D	Duplex Apartment Type 1	Duplex Apartment Type 1B	Duplex Apartment Type 1D	Duplex Apartment Type 2	Duplex Apartment Type 3	Duplex Apartment Type 4	Net Internal Area (NIA)	General circulation & WC`s	Nr of units
	m²	m²		m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²	m²
Area 01	7	7	12	18	50	-															94
Area 02					4	27			3	4	8		6	6	2	14					74
Area 03							-	-	-			6					30	24			60
Total	**7**	**7**	**12**	**18**	**54**	**27**	**-**	**-**	**3**	**4**	**8**	**6**	**6**	**6**	**2**	**14**	**30**	**24**			**228**

** This does not include an allowance for core and shared circulation/parking/plant/bin/bike store areas this is measured as additional structure and the like in appendix c.

BASIS & ASSUMPTIONS

GLEEDS: Gross areas inserted into column W are as per Victoria's email 27.03.20

Undercroft Parking is excluded from the above and costed as a separate line item in C summary

Assumed affordable housing provision remains as per previous schedule. Adjustment to units only on open market housing

NIFA adjusted to match the revised schedule from Loyn + Co. May 2022

8

Fee Breakdown

FEE BREAKDOWN

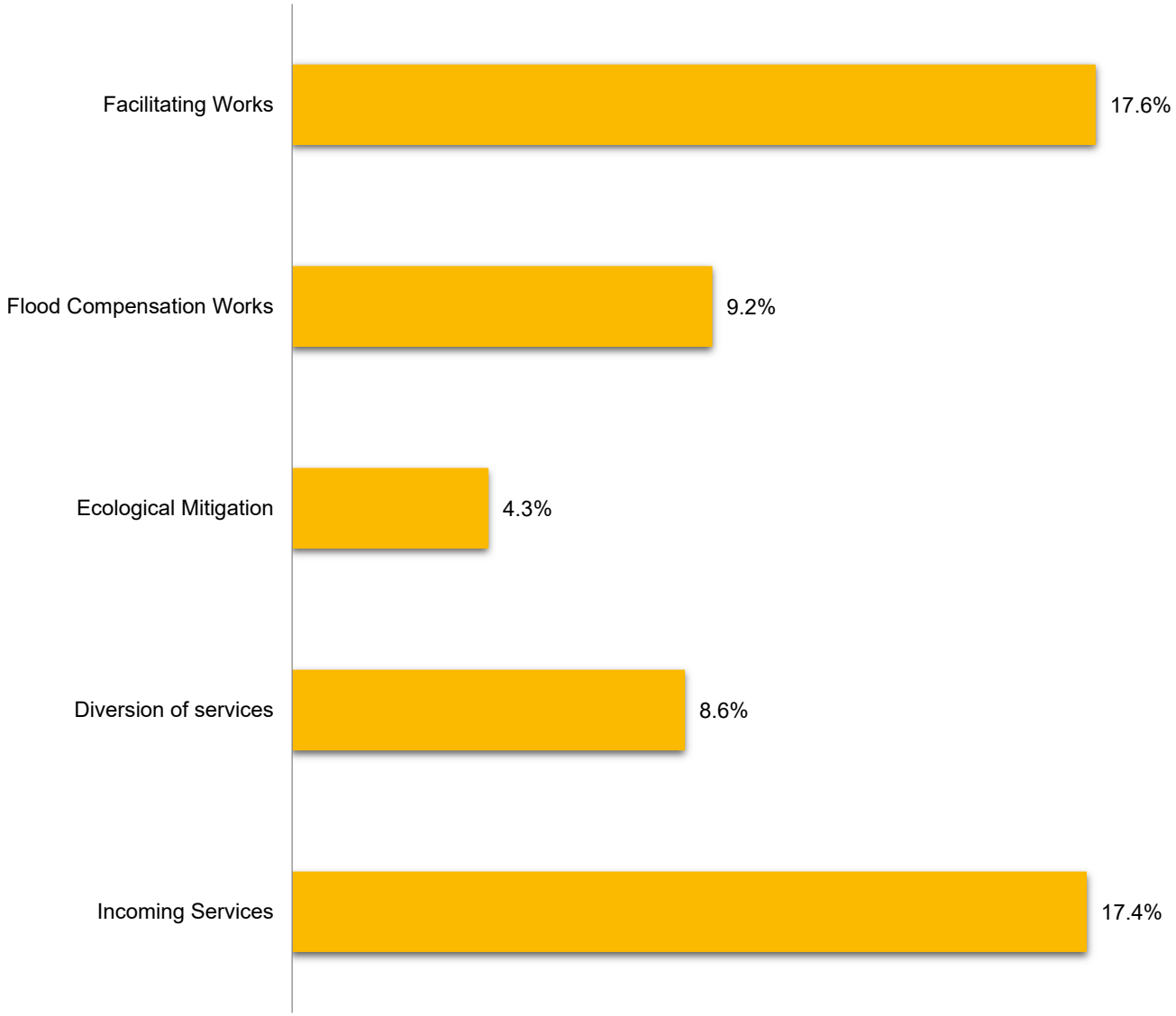
Professional Fees and Surveys	%	Total
Professional fees		
Architect	1.2%	589,200
Structural and civil engineer	0.8%	392,800
MEP Engineer	0.8%	392,800
Landscape architect	0.2%	98,200
Building control	0.1%	55,000
Project manager/Employer's agent/QS in combined roll	1.0%	491,000
Planning consultant	0.2%	98,200
Ecologist	item	5,000
Arboriculturalist	item	5,000
Sub Total | Professional fees:		**2,127,200**
Surveys		
Drainage CCTV surveys; no allowance for jetting		10,000
Topographical		20,000
Flood risk assessments		5,000
Geotechnical test		15,000
Waste classification tests		5,000
Sub Total | Surveys:		**55,000**
Statutory Fees		
Planning application		45,000
Statutory service provider surveys		30,000
Section 278 @ 8% applied to 20% of highway works cost		100,160
Section 38 @ 8% applied on-site highway works		122,596
Section 104; as per DCWW guidance		55,126
Section 146; as per DCWW guidance		166,440
Allowance for commuted sums; full extent unknown, risk allowance only		200,000
Sub Total | Statutory Fees:		**719,322**

SUB TOTAL | Carried forward to summary **2,901,522**

A

Cost Breakdown | Enabling Works / Abnormals

SUMMARY GRAPH | ENABLING WORKS / ABNORMALS



ELEMENTAL BACK-UP | ENABLING WORKS / ABNORMALS

Building Elements	%	£ / m²	Total
Facilitating Works			
Facilitating Works	17.6%	23.05	1,084,543
Sub Total | Facilitating Works:			**1,084,543**
Abnormal House Costs			
Abnormal House Costs	42.8%	55.90	2,629,821
Sub Total | Abnormal House Costs:			**2,629,821**
Flood Compensation Works			
Flood Compensation Works	9.2%	12.01	565,000
Sub Total | Flood Compensation Works:			**565,000**
Ecological Mitigation			
Ecological Mitigation	4.3%	5.68	267,250
Sub Total | Ecological Mitigation:			**267,250**
Diversion of services			
Diversion of services	8.6%	11.27	530,000
Sub Total | Diversion of services:			**530,000**
Incoming Services			
Incoming Services	17.4%	22.74	1,070,000
Sub Total | Incoming Services:			**1,070,000**
SUB TOTAL | Inc Main Contractor Preliminaries and OH&P		**131**	**6,146,614**
		SAY:	**6,150,000**

	Facilitating Works	Qty	Unit	Rate	Total
0.01	**Earthworks**				
0.02	Cut to formation levels; this quantity is based on very limited information and a standalone risk sum has been included as the next item for the section of the work. Further input is from the engineers is required and we recommend they carryout a detailed cut and fill review. Assume there is no change based on the revised information due to limited detail.	6,908	m³	26.94	186,102
0.03	Fill to formation levels using cut material; this quantity is based on very limited information and a standalone risk sum has been included as the next item for the section of the work. Further input is from the engineers is required and we recommend they carryout a detailed cut and fill review. Assumed that 20% of cut needs to be disposed of as contaminated waste. Assume there is no change based on the revised information due to limited detail.	6,992	m³	26.94	188,364
0.04	Individual risk allowance for cut and fill		%	11.72	43,887
0.05	Allowance for import of clean fill to make up levels	1,500	m³	41.00	61,500
0.06	Allowance for slope stability works to area cut for residential construction; quantity assumed based on a 2m band to the rear of the properties abutting a cut; engineer to advise	594	m²	134.72	80,024
0.07	Assumed 20% of all excavated material to be contaminated and removed from site	1,382	m³	143.51	198,331
0.08	Supply and install piling mat using recycled demolition material	4,405	m³	32.22	141,929
0.09	Compaction at 0.200m layers	22,026	m²	1.76	38,766
0.10	Allowance for removal of Japanese knotweed and Himalayan Balsam; areas to be confirmed	1	item	100,000.00	100,000
0.11	**Temporary Support to Adjacent Structures**				
0.12	Allowance for temporary supports to cut and fill excavations	484	m²	41.00	19,844
0.13	**Extraordinary site investigation works**				
0.14	5% sample of site for archaeology	1,101	m²	23.43	25,796
0.15	Cost of more detailed investigation per hectare	1	ha	46,860.00	Exc.
	Sub Total | Facilitating Works:				1,084,543

Abnormal House Costs		Qty	Unit		Total
1.00	**Podium decks**				
1.01	Allowance for waterproofed podium deck construction with drainage and stone paving to falls – concrete frame and substructure sized to support weight of green roofs; assumed costs for lighting, access control, barriers and vehicle fume ventilation required.	3,190.00	m2	475.00	1,515,250
1.02	Allowance for tying the podium deck construction back to the house superstructure with waterproofed upstands, movements joints, thermal bridge, level coordination and the like. Provisional allowance.	3,190.00	m2	100.00	319,000
1.03	Green Roof composition: 300-600mm Biodiverse planting material included in capping layer quantity, on filter membrane on 100mm granular bed on root barrier on waterproofing layer, to include drainage. Pitch not exceeding 5°; to concrete base or the like; prime concrete with spirit priming solution. Green roof contained within waterproofed concrete planter upstands at varying heights. Allowance for feature lighting included	1,934.00	m2	240.00	464,160
1.04	**Capping layer**				
1.05	Allowance for import of clean cover to back gardens and public green space	8,273	m²	29	239,917
1.06	Allowance for radon protection; assumed only DPM barrier required (not needed to green roofs)	5,083	m²	18	91,494
					2,629,821

Flood Compensation Works		Qty	Unit		Total
	Flood compensation works				
2.00	Compensatory Flood storage - detailed design awaited. Volume based on advice from WSP; rate includes for excavation, disposal, backfill and attenuation crates and connecting pipework; cost now includes reduction for item 2.01 (i.e. 1,130 x 500 less £300,000)	1,130	m³	500	265,000
2.01	Allowance for overflow culvert. No drawings or design information available. Assumed length of 150m required and a maximum RC square box culvert of 2000mm x 2000mm; pre-cast concrete headwalls with metal grills; specification based on verbal conversations with WSP. Increased allowance for size of culvert, trench support measures and de-watering requirements	150	m	2,000	300,000
	Sub Total | Flood Compensation Works:				565,000

Ecological Mitigation		Qty	Unit		Total
	Ecological Mitigation				
3.00	Allowance for bat boxes only. No other information available at this stage; quantity assumed	5	nr	50	250
3.01	Allowance for mitigation woodland planting, quantum as per GDPS email 20/05/2022	9,700	m²	10	97,000
3.02	Allowance for repairs to trail as per GDPS email 20/05/2022. No design, PSUM only	1	item	10,000	10,000
3.03	Allowance for interplanting, extent unknown, assumed 100 trees, smallest possible size as per GDPS email 20/05/2022. No design, PSUM only	100	nr	600	60,000
3.04	Allowance for enhancing flood storage and providing ecological ponds; Psum	1	item	100,000	100,000
	Sub Total | Ecological Mitigation:				267,250

Diversion of services		Qty	Unit		Total
	Service Diversions				
4.00	Diversion of street lighting; assumed overhead cables buried	1	Item	20,000	20,000
4.01	BT diversion; assumed existing boxes on existing roundabout do not require relocating	1	Item	90,000	90,000
4.02	Diversion of overhead power cables; as per WPD quotes from WSP dated 23/04/21 and 22/07/22 for two nr. 33Kv diversions and one 11Kv diversion. Original budget maintained to allow additional contingency on this and item 5.01 below.	1	Item	300,000	300,000
4.03	Diversion of existing water supply	1	Item	120,000	120,000
	Sub Total | Diversion of services:				530,000

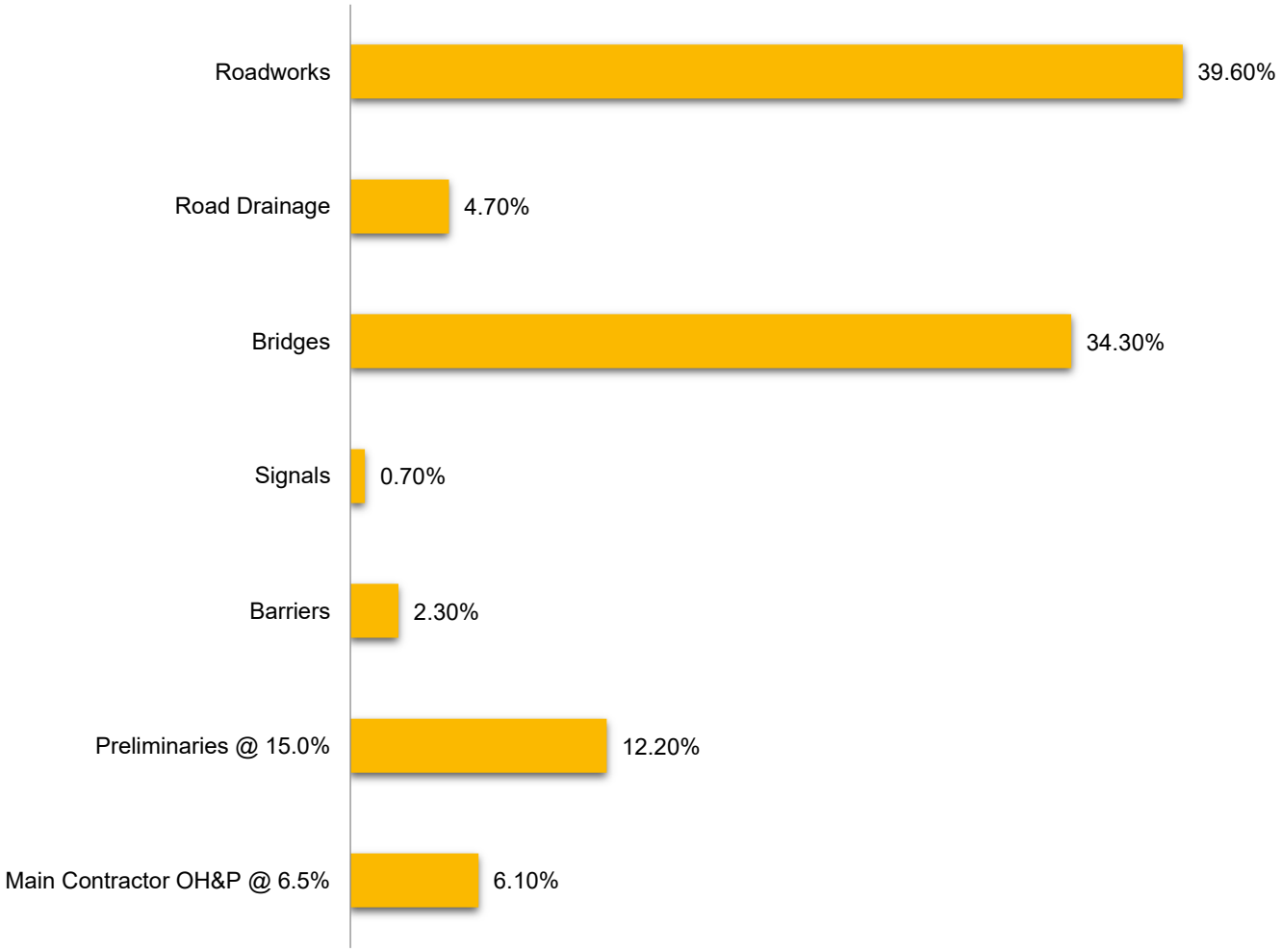
Incoming Services		Qty	Unit		Total
	Allowances for incoming services; requirements are unknown budgets only				
5.00	Electrical; assumed diversion will provide new supply to a new substation				-
5.01	Amended from Package substation to incoming 2.3MW budget quote from WPD, dated 21/05/21	1	item	350,000	350,000
5.02	Gas	1	item	30,000	30,000
5.03	BT incoming services connection inc. in diversion allowance				inc.
5.04	Allowance for incoming fibre connection	1	item	120,000	120,000
5.05	Drainage connection; sewerage infrastructure charge	1	item	270,000	270,000
5.06	Water incoming services connection inc. in diversion allowance				inc.
5.07	Package pumping station for foul water	1	item	300,000	300,000
5.08	Offsite infrastructure upgrades excluded				Excluded
	Sub Total | Incoming Services:				1,070,000

SUB TOTAL | Inc Main Contractor Preliminaries and OH&P	**6,146,614**
SAY:	**6,150,000**

B

Cost Breakdown | Main Highways Work

SUMMARY GRAPH | MAIN HIGHWAYS WORK



ELEMENTAL BACK-UP | MAIN HIGHWAYS WORK

Building Elements	%	£ / m²	Total
Roadworks			
Roadworks	39.6%	379.23	2,477,507
Sub Total | Roadworks:			**2,477,507**
Road Drainage			
Road Drainage	4.7%	45.13	294,851
Sub Total | Road Drainage:			**294,851**
Bridges			
Bridges	34.3%	328.79	2,148,000
Sub Total | Bridges:			**2,148,000**
Signals			
Signals	0.7%	6.89	45,000
Sub Total | Signals:			**45,000**
Barriers			
Barriers	2.3%	22.16	144,800
Sub Total | Barriers:			**144,800**
SUB TOTAL | Excl Prelims, Design Reserve, Risk		**782**	**5,110,158**
Preliminaries			
Preliminaries @ 15.0%	12.2%	117.33	766,524
Sub Total | Preliminaries:			**766,524**
OH&P			
Main Contractor OH&P @ 6.5%	6.1%	58.47	381,984
Sub Total | OH&P:			**381,984**
TOTAL | Incl Prelims and OH&P	**100%**	**958**	**6,258,666**
		SAY:	**6,260,000**

	Roadworks	Qty	Unit	Rate	Total
0.00	**Temporary roads**				
0.01	Ramping and bell mouth from Leckwith Road onto site	1	item	20,000.00	20,000
0.02	Temporary road formation	505	m²	100.00	50,500
0.03	Traffic Management - including signage, wheel wash etc; duration of traffic management to be confirmed	1	item	50,000.00	50,000
0.04	Allowance for repair of temporary road to form new road sub-base	505	m²	15.00	7,575
0.05	**Retaining structures**				
0.06	Retaining wall to mitigate 1 in 1 slope assumed 1 metre high gabion baskets	84	m²	600.00	50,400
0.07	Retaining walls to cycle path/footway - Assumed average height 0.5m gabion basket	49	m²	600.00	29,400
0.08	Retaining walls to cycle path/footway - Assumed average height 1.5m gabion basket	72	m²	600.00	43,200
0.09	**Demolition Works**				
0.10	Section of wall requiring removal	13	m²	100.00	1,300
0.11	**Cardiff Demolition quote**				
0.12	Set up site and maintain for duration of works	1	item	15,300.00	15,300
0.13	Supervision of works including insurances, method statements and risk assessments	1	item	52,500.00	52,500
0.14	Allowance for protection to Leckwith Old Bridge	1	item	5,000.00	5,000
0.15	Demolition of various buildings to allow access for Construction and demolition of bridges	1	item	92,000.00	92,000
0.16	Demolition of remaining buildings on-site; Gleeds assessment	1	item	120,000.00	120,000
0.17	Removal of vegetation for construction of new bridge	1	item	34,850.00	34,850
0.18	Supply of cranage and scaffolding for bridge demolition	1	item	310,000.00	310,000
0.19	Demolition of bridge and viaduct	1	item	320,200.00	320,200
0.20	Removal of bridge abutments	1	item	135,500.00	135,500
0.21	Removal of bridge foundations up to a depth of 1m	1	item	48,000.00	48,000
0.22	Removal of various concrete hardstanding's	1	item	31,000.00	31,000
0.23	Crushing of material down to 6ft² for re-use by others	1	item	21,000.00	21,000
0.24	Extra over for grubbing up additional concrete slabs up to a depth of 0.200m, foundations, hardstanding's, roadways and footpaths up to a depth of 1 metre, crushing all hardcore arisings down to 6ft² specification of re-use at £14.75 / m³; Gleeds quantities	2,528	m³	14.75	37,288
0.25	Provisional sum for the removal of asbestos containing material	1	item	85,000.00	85,000
0.26	**Earthworks**				
0.27	Soil stabilisation - soil nailing based on WSP green mark-up using 9m nails on a 1.5 x 2m grid	1	item	241,870	241,870
0.28	**Full depth carriageway**				
0.29	Wearing Course 40mm	3,461	m²	10	34,610
0.30	Base Course 60mm	3,461	m²	8	27,688
0.31	Road Base 200mm	3,461	m²	15	51,915
0.32	Capping Layer 225mm	3,461	m²	17	58,837
0.33	Access to 3rd party land maintained, existing vehicle crossover extended to new carriageway (New access - carriageway construction)	97	m²	70	6,790
0.34	Road markings	423	m	25	10,575
0.35	Allowance for junction indivisibility	2,111	m²	5	10,555
0.36	New speed gateway signage/road markings - reduce 40mph to 30mph	1	item	2,500	2,500
0.37	Carriage kerbed throughout	824	m	30	24,720

0.38	New carriageway and kerb line to tie into existing	107	m	35	3,745
0.39	Traffic islands	4	nr	600	2,400
0.40	Allowance for road signage for Leckwith roundabout; assumed lit	1	item	15,000	15,000
0.41	Proposed puffin crossing	3	nr	65,000	195,000
0.42	Proposed toucan crossing	1	item	70,000	70,000
0.43	Allowance for transition from new 7.2m wide highway to existing 9.3m highway	1	item	2,000	2,000
0.44	Bus laybys				excluded
0.45	**New 3m footway / cycleway**				
0.46	Wearing Course 20mm	1,032	m²	5	5,160
0.47	Base Course 50mm	1,032	m²	6	6,192
0.48	Sub-base 150mm Type3	1,032	m²	12	12,384
0.49	Road markings	1	item	4,000	4,000
0.50	Allowance to tie into existing footway	1	item	1,000	1,000
0.51	Extra over for tactile paving	66	m²	15	990
0.52	**New 2m/3m footway / cycleway**				
0.53	Wearing Course 20mm	1,448	m²	5	7,240
0.54	Base Course 50mm	1,448	m²	6	8,688
0.55	Sub-base 150mm Type 1	1,448	m²	12	17,376
0.56	Road markings	1	item	4,000	4,000
0.57	Forming footway pinch point and highway retaining wall	1	item	2,000	2,000
0.58	**Plane / overlay / inlay tie-in to existing**				
0.59	Scabble back existing layer	592	m²	4	2,368
0.60	Wearing Course 20mm	592	m²	5	2,960
0.61	Road markings	1	item	4,000	4,000
0.62	**New area of road to access pumping station (all in rate)**				
0.63	Allowance for new access road to pumping station, all in rate for full depth carriageway	456	m²	149	67,944
0.64	Allowance for new access road to pumping station, all in rate for footway	481	m²	27	12,987
	Sub Total | Roadworks:				2,477,507

Road Drainage		Qty	Unit	Rate	Total
1.0.00	**Drainage**				
1.0.01	Gulleys - connections included in carrier mains	38	nr	100	3,800
1.0.02	Carrier main 150 dia	35	m	56	1,960
1.0.03	Carrier main 225 dia	358	m	75	26,850
1.0.04	Allowance to connect to existing highway drainage system	1	item	1,000	1,000
1.0.05	Carrier main 300 dia	162	m	125	20,250
1.0.06	5-way Manholes - assumed precast concrete	12	nr	4,000	48,000
1.0.07	Drainage openings to vegetation basin; assumed grated concrete culvert	2	nr	4,000	8,000
1.0.08	Assumed Petrol Interceptors required every 75m of carriageway	6	nr	1,500	9,000
1.0.09	Excavation and formation of Cut-off ditch - assumed arisings to be non-hazardous	180	m	40	7,200
1.0.10	Catch pit	6	nr	300	1,800
1.0.11	Filter drain	297	m	100	29,700
1.0.12	Storage crates beneath cycle way, assume 250m³ from Drainage drawing, stepped	250	m³	350	87,500
1.0.13	Allowance for GRP Baffle plates to steps - assumed one step	80	m	50	4,000
1.0.14	Hydro brake flow control	1	item	1,500	1,500
1.0.15	Allowance for connection into site wide drainage	1	item	2,000	2,000
1.0.16	Allowance for connection into highways drainage	1	item	2,000	2,000
1.0.17	Allowance for highways drainage to pumping station area, using all-in rate based on the above items	937	m²	43	40,291
	Sub Total | Road Drainage:				294,851

Bridges		Qty	Unit	Rate	Total
2.0.00	**New Bridge**				
2.0.01	Reinforced concrete bridge with precast beams including excavation; reinforcement; formwork; concrete; bearings; expansion joints; deck waterproofing; deck finishings; P1 parapet and abutments - increased to 35m span from 27m (48m overall inc. abutments, now assumed to be 53m overall). Assumed increase in depth as advised by GD is included in the current rate; width of bridge is 17.36m	608	m²	3,500	2,128,000
2.0.02	Foot bridge excluded				-
2.0.03	Allowance for repairs to historic Leckwith Bridge	1	item	20,000	20,000
	Sub Total | Bridges:				2,148,000

Signals		Qty	Unit	Rate	Total
3.0.00	**Street Lighting / Traffic Signals**				
3.0.01	6m Street-lighting column	10	nr	1,500	15,000
3.0.02	10m Street-lighting column	10	nr	2,000	20,000
3.0.03	Traffic signs for puffin crossing 4-way with controller link to Scoot /				inc. above
3.0.04	Traffic signs and controls to pumping station, allowance only	1	item	10,000	10,000
	Sub Total | Signals:				45,000

Barriers		Qty	Unit	Rate	Total
4.0.00	**Barriers & Guard railing**				
4.0.01	Pedestrian guard railing	204	m	100	20,400
4.0.02	Vehicle / pedestrian parapet / barrier	330	m	200	66,000
4.0.03	Vehicle safety barrier	292	m	200	58,400
	Sub Total | Barriers:				144,800

SUB TOTAL | Excl Prelims, Design Reserve, Risk	**5,110,158**

Preliminaries		Qty	Unit	Rate	Total
	Main Contractor Preliminaries @	15.0%			766,524
	Sub Total | Preliminaries:				766,524

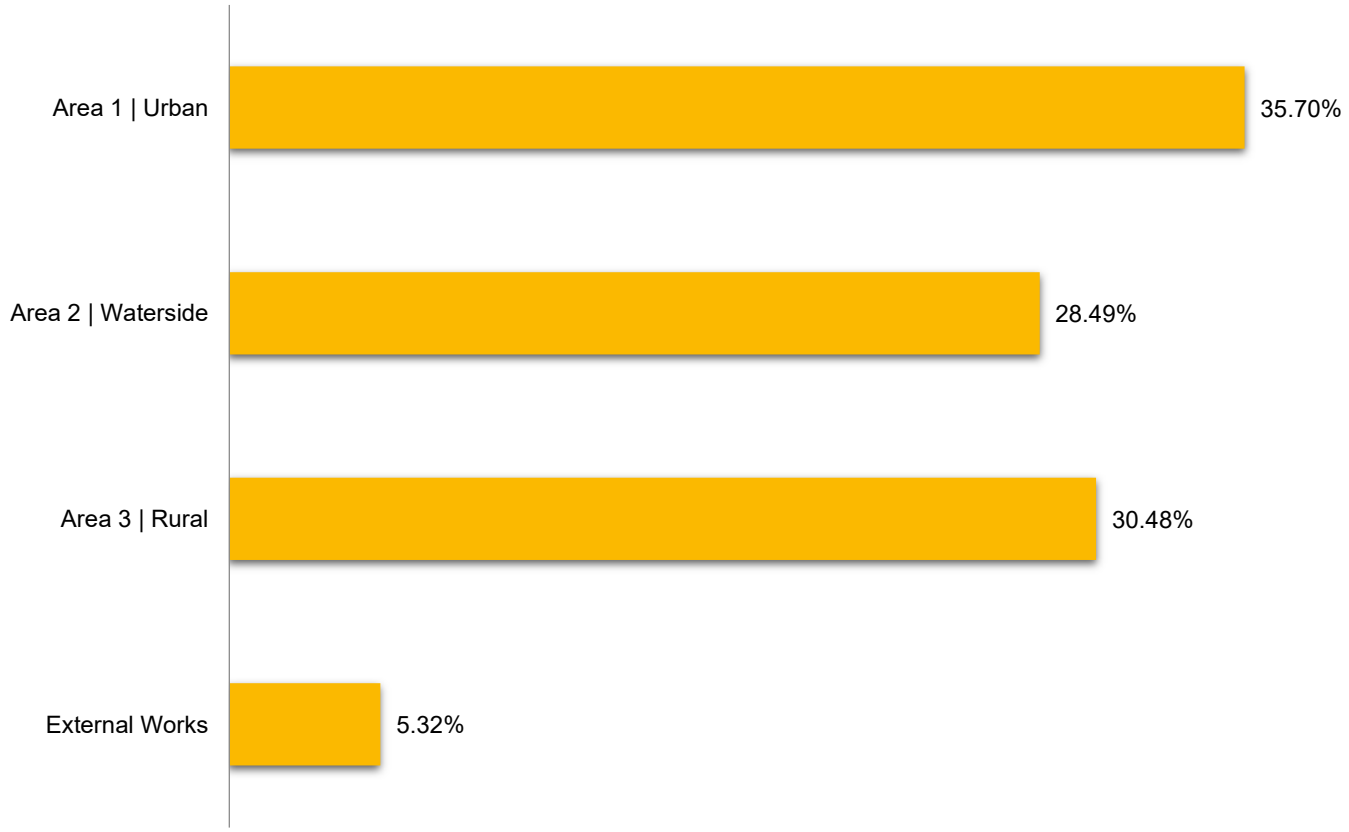
Overhead and Profit		Qty	Unit	Rate	Total
	Main Contractor OH&P @	6.5%			381,984
	Sub Total | Overhead and Profit:				381,984

TOTAL | Incl Prelims and OH&P	**6,258,666**
SAY:	**6,260,000**

C

Cost Breakdown | Development Costs

SUMMARY GRAPH | DEVELOPMENT COSTS



COST PER M2 BACK-UP | DEVELOPMENT COSTS

Building Elements	quant	unit	rate	Total
Area 1 | Urban				
House Type A	875.00	m2	1,200.00	1,050,000
House Type B1	812.00	m2	1,200.00	974,400
House Type B2	1,392.00	m2	1,200.00	1,670,400
Duplex Apartment Type 7	1,314.00	m2	1,400.00	1,839,600
Apartment Type A**	3,500.00	m2	1,400.00	4,900,000
Gross areas (circulation)	2,285.00	m2	900.00	2,056,500
Undercroft parking and stores etc. assumed as per previous assessment	1,200.00	m2	475.00	570,000
Sub Total | Area 1 | Urban:				**13,060,900**
Area 2 | Waterside				
Apartment Type A**	280.00	m2	1,400.00	392,000
Apartment Type A**	1,890.00	m2	1,400.00	2,646,000
House Type E1	534.00	m2	1,200.00	640,800
House Type E2	712.00	m2	1,200.00	854,400
House Type C	768.00	m2	1,200.00	921,600
Duplex Apartment Type 1**	564.00	m2	1,400.00	789,600
Duplex Apartment Type 1B**	564.00	m2	1,400.00	789,600
Duplex Apartment Type 1D**	188.00	m2	1,400.00	263,200
Duplex Apartment Type 2**	1,316.00	m2	1,400.00	1,842,400
Gross areas (circulation)	1,210.00	m2	900.00	1,089,000
Undercroft parking and stores etc. assumed as per previous assessment	416.00	m2	475.00	197,600
Sub Total | Area 2 | Waterside:				**10,426,200**
Area 3 | Rural				
Duplex Apartment Type 5**	0.00	m2	1,400.00	-
Duplex Apartment Type 6**	0.00	m2	1,400.00	-
House Type E1	0.00	m2	1,200.00	-
House Type D	990.00	m2	1,200.00	1,188,000
Duplex Apartment Type 3**	3,390.00	m2	1,400.00	4,746,000
Duplex Apartment Type 4**	2,712.00	m2	1,400.00	3,796,800
Gross areas (circulation)	710.00	m2	900.00	639,000
Undercroft parking and stores etc. assumed as per previous assessment	1,645.00	m2	475.00	781,375
Sub Total | Area 3 | Rural:				**11,151,175**

COST PER M2 BACK-UP | DEVELOPMENT COSTS

External Works				
Roads, paths and pavings				
On site infrastructure - footpaths and cycleways. Rate adjusted to match road build up from the infrastructure section, including pro-rata drainage allowance and main contractor prelims and OH&P.	14,468	m²	86	1,244,248
Uplift for permeable paving; no hard spec available, assumed the same area will remain permeable	2,882	m²	100	288,200
Fencing				
Fencing to private gardens; assumed standard close board timber fencing with post and rail	664	m	86	57,104
Grassed areas				
Allowance for turf to private and public gardens	5,083	m²	25	127,075
Trees provision				
Assumed all trees will be provided in soft landscaping and that	255	nr	490	124,950
Street Furniture				
Allowance for street furniture; budget only	1	item	60,000	60,000
Play areas				
LEAP (assume this is still required)	1	nr	25,000	25,000
LAP (assume this is still required)	2	nr	10,000	20,000
Sub Total | External Works:				**1,946,577**
SUB TOTAL | Inc Prelims and OH&P			**£1,414/m2**	**36,584,852**
			SAY:	**36,590,000**

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Appendix ii

Appraisal

Site **Leckwith Quay**

Appraisal **Cost Plan V11.02 - Abnormals- New Bridge - 10% aff hsg 80/20**

17.61 acres gross
9.61 acres net
228 units

233,454 sqft 24,293 sqft pna

Income		no	sqft	£	£/sqft							
open market	A House	7	1345	£500,000	£375	£	3,500,000					
	B2 House	12	1367	£510,000	£375	£	6,120,000					
	Type 7 Duplex	18	786	£295,000	£375	£	5,310,000					
	Type A apart	27	753	£280,000	£375	£	7,560,000					
	Type 5 apart	14	871	£325,000	£375	£	4,550,000					
	Type 6 Duplex	14	1270	£475,000	£375	£	6,650,000					
	E1 House	10	1851	£695,000	£375	£	6,950,000					
	E2 House	4	2067	£775,000	£375	£	3,100,000					
	D House	7	1776	£665,000	£375	£	4,655,000					
	Type 1 Duplex	6	1076	£400,000	£375	£	2,400,000					
	Type 3 Duplex	12	1141	£425,000	£375	£	5,100,000					
	Type 4 Duplex	6	1378	£515,000	£375	£	3,090,000					
	3 B House	15	1012	£380,000	£375	£	5,700,000					
	Type A 2bf	30	700	£260,000	£375	£	7,800,000					
	3B Duplex	23	1012	£380,000	£375	£	8,740,000					
		0	0	£0	0	£	-	£	81,225,000			
Affordable	aff 2BF	18	700	£62,328		£	1,121,904					
	aff 3bh	0	1012	£89,082		£	-					
	aff 3b duplex	0	1012	£89,082		£	-					
	LCHO 2BF	5	700	£171,500	245	£	857,500					
	LCHO 3BH	0	1012	£212,520	210	£	-					
	LCHO 3B duplex	0	1012	£212,520	210	£	-	£	1,979,404			£ 83,204,404

House Build Cost		No	sqft	sm	£/m2							
open market	A House	7	1345	125	£1,597	£	1,396,856					
	B2 House	12	1367	127	£1,597	£	2,433,778					
	Type 7 Duplex	18	786	73	£1,597	£	2,099,067					
	Type A apart	27	753	70	£1,597	£	3,016,407					
	Type 5 apart	14	871	81	£1,597	£	1,809,162					
	Type 6 Duplex	14	1270	118	£1,597	£	2,637,928					
	E1 House	10	1851	172	£1,597	£	2,746,235					
	E2 House	4	2067	192	£1,597	£	1,226,681					
	D House	7	1776	165	£1,597	£	1,844,473					
	Type 1 Duplex	6	1076	100	£1,597	£	957,844					
	Type 3 Duplex	12	1141	106	£1,597	£	2,031,412					
	Type 4 Duplex	6	1378	128	£1,597	£	1,226,681					
	3 B House	15	1012	94	£1,597	£	2,252,179					
	Type A 2bf	30	700	65	£1,597	£	3,115,663					
	3B Duplex	23	1012	94	£1,597	£	3,453,342	£	32,247,709			
Affordable	aff 2BF	18	700	65	£1,597	£	1,869,398					
	aff 3bh	0	1012	94	£0	£	-					
	aff 3b duplex	0	1012	94	£0	£	-					
	LCHO 2BF	5	700	65	£1,597	£	519,025					
	LCHO 3BH	0	1012	94	£0	£	-					
	LCHO 3B duplex	0	1012	94	£0	£	-	£	2,388,423	£	34,636,132	

Prelims	inc in Build cost									£	-	£ 34,636,132
fees	Cost Plan									£	2,901,522	
sales & marketing fee				3.0	% x OM GDV					£	2,436,750	
sales legal costs				0.0	% x OM GDV					£	-	
finance				6	% x Bld Cost					£	2,078,168	
Internal Overhaeads				5	% x Bld Cost					£	1,731,807	
Developers Return				17	% x OM GDV					£	13,808,250	
Contractors Return				5	% x Aff Bld Cost					£	119,421	£ 23,075,918 £ 57,712,049
												£ 25,492,355
Development External Works	Cost Plan											£ 1,946,577
Abnormal costs	Facilitating Works									£	1,084,543	
	Abnormal House Costs									£	2,629,821	
	Flood Compensation Works									£	565,000	
	Ecological Mitigation									£	267,250	
	Diversion of Services									£	530,000	
	Incoming Services									£	1,070,000	£ 6,146,614
Infrastructure costs	Main Highway Work (replacement bridge)											£ 6,258,666
Cost plan Inflation increase v10 - v11.02												£ 7,160,000
S106 costs	nursery education			0.100		228	£	17,446	£	-		
	primary education			0.278		228	£	17,446	£	-		
	secondary education			0.208		228	£	26,289	£	-		
	secondary education			0.040		228	£	28,511	£	-		
	school transport					0			£	-		
	community facilities					228	£	1,208	£	-		
	sustainable transport					228	£	2,200	£	-		
	public art			0.01		0	£	34,636,132	£	-	£	-
	s106 legasl/admin costs										£	15,000 £ 21,526,857
Residual value												£ 3,965,498
Land purchase costs												£ 123,444
nett Residual land value												**£ 3,842,054**
Benchmark LV	Exisitng Use	£395,784	pHa	plus 25% uplift								£ 3,525,445
									Deficit/Surplus			£ 316,609