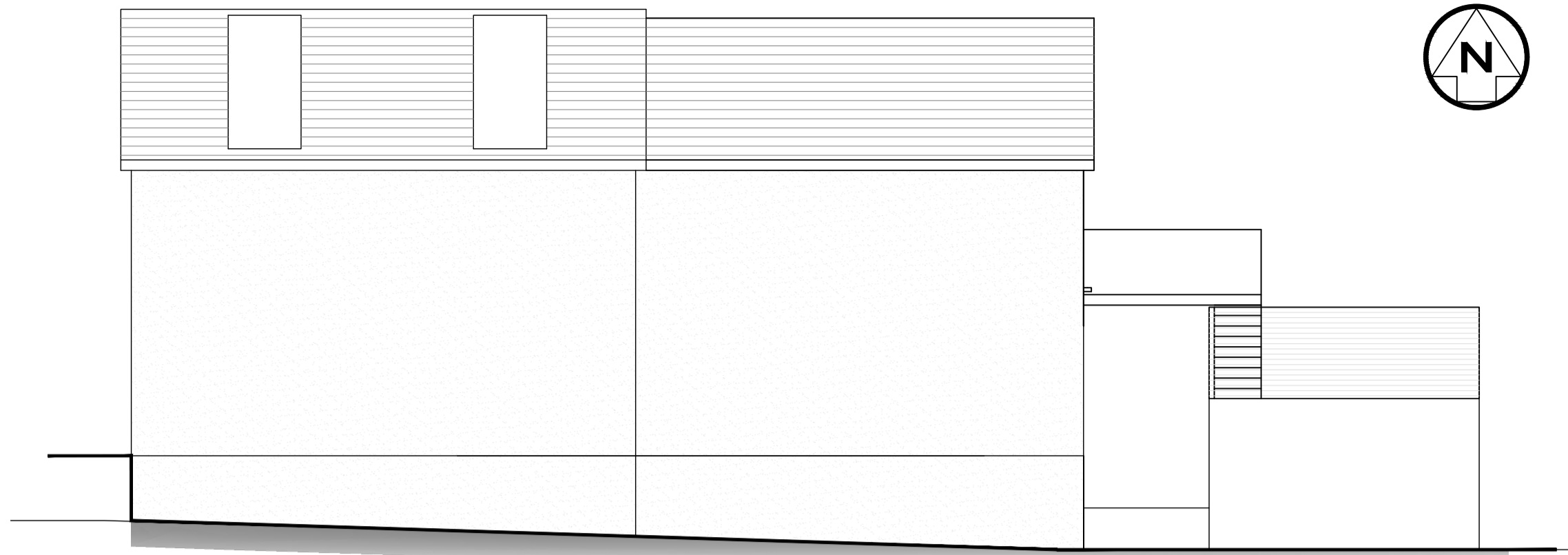
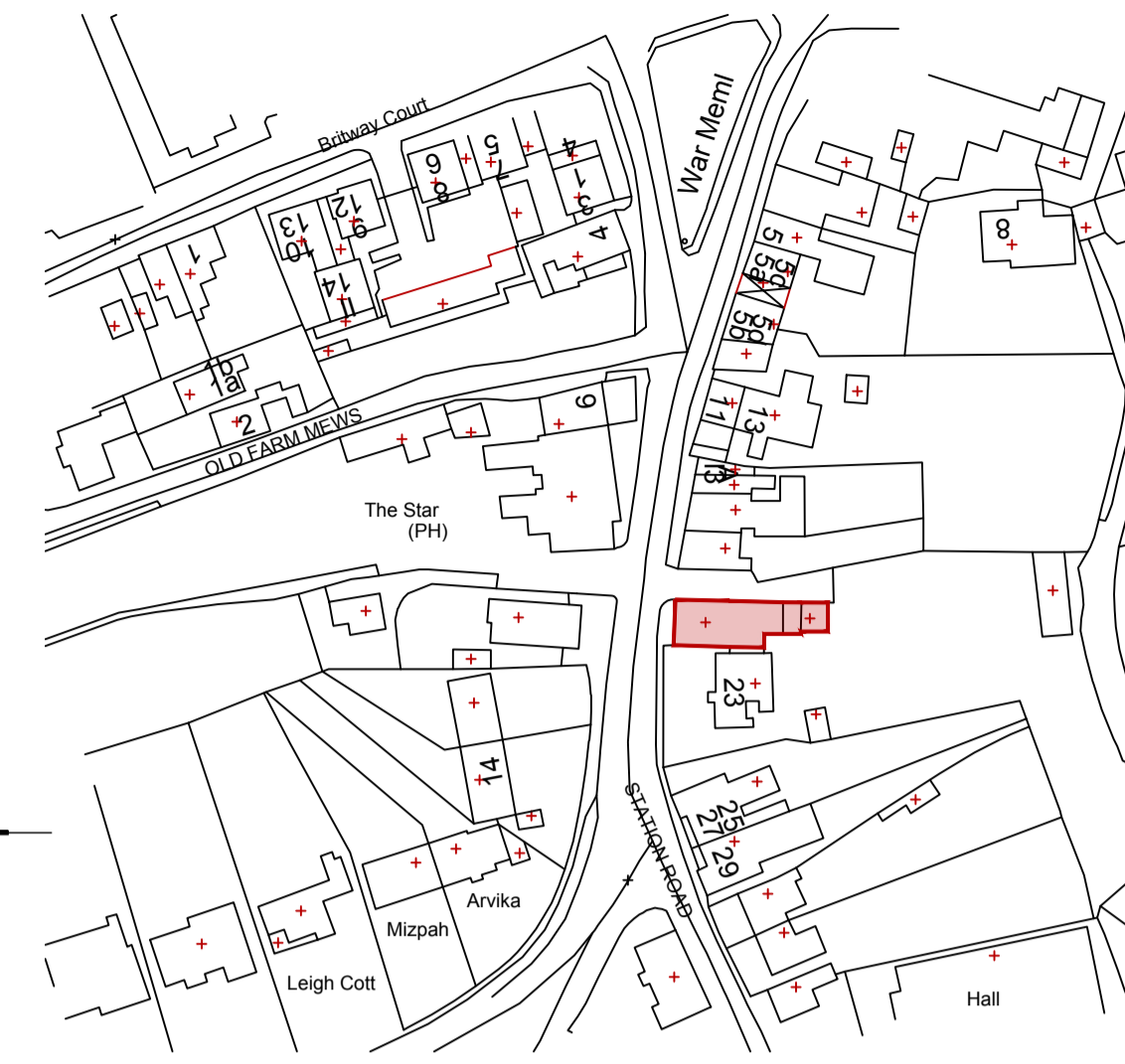




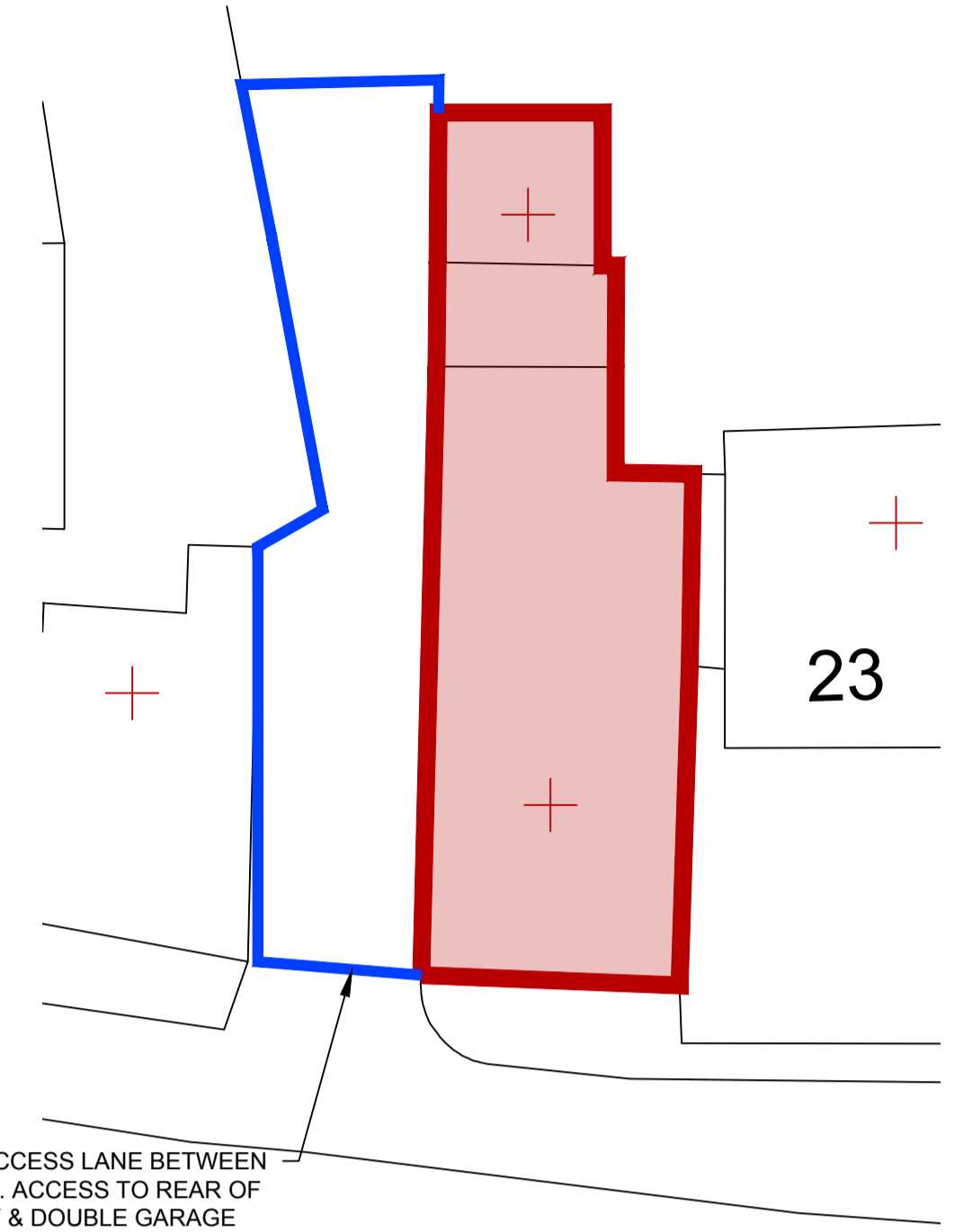
PROPOSED FRONT ELEVATION



PROPOSED SIDE ELEVATION  
VIEW ON ARROW B



LOCATION PLAN  
SCALE 1:1250



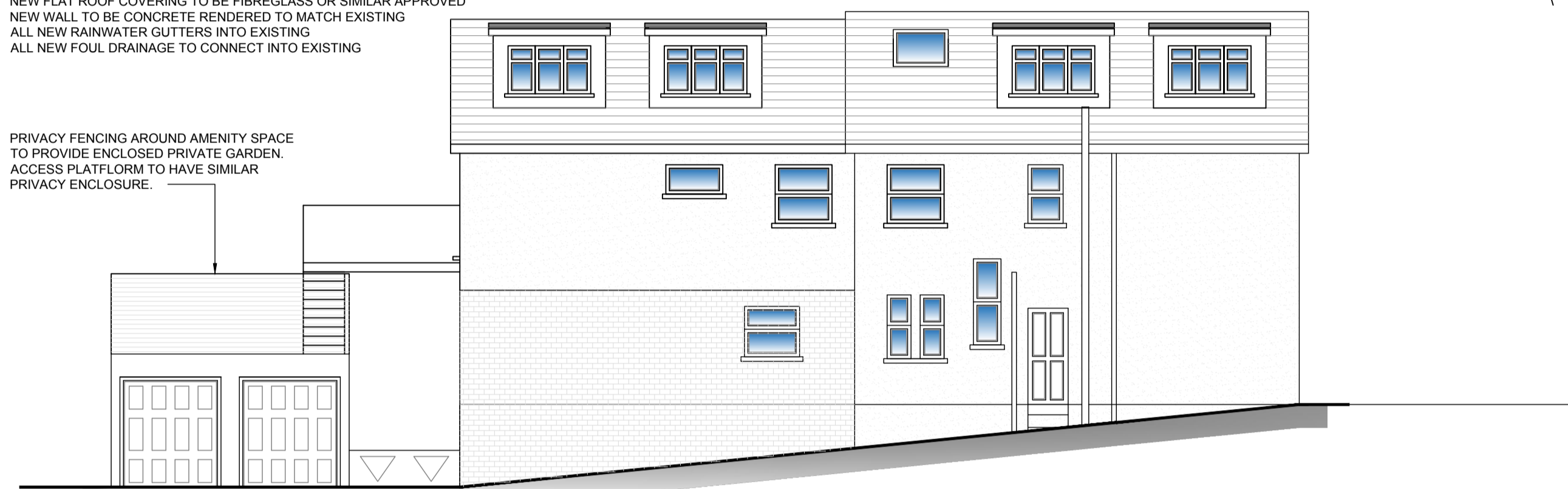
SITE PLAN  
SCALE 1:200



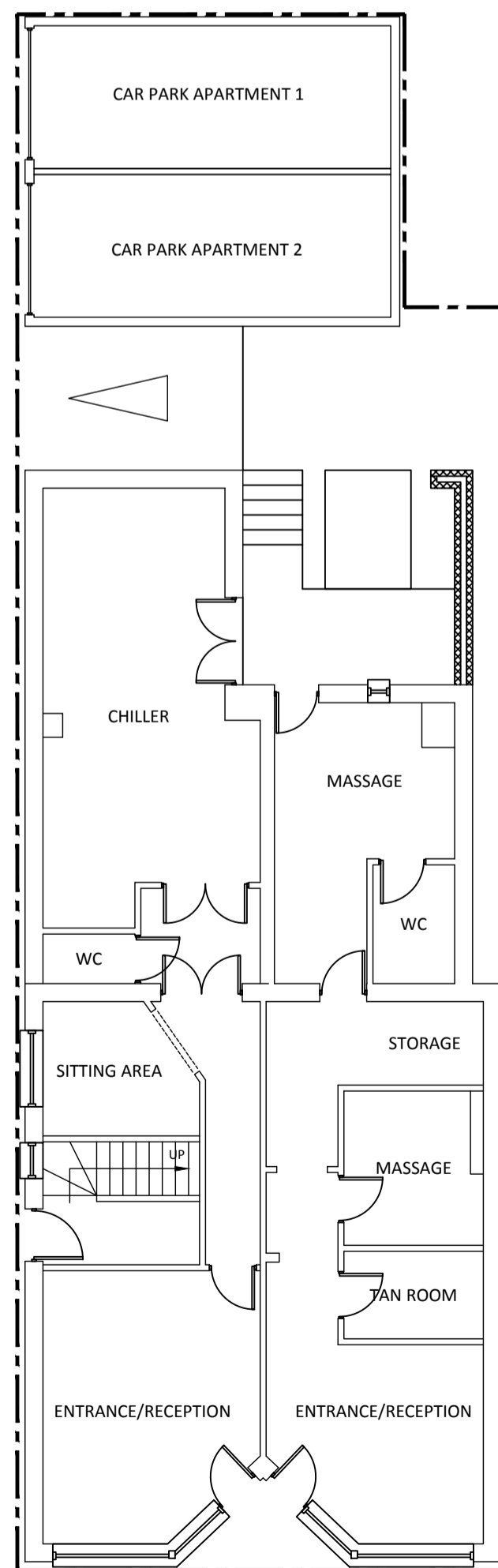
PROPOSED REAR ELEVATION  
GARAGE OMITTED FOR CLARITY

NEW ROOF COVERING TO MATCH EXISTING  
NEW FLAT ROOF COVERING TO BE FIBREGLASS OR SIMILAR APPROVED  
NEW WALL TO BE CONCRETE RENDERED TO MATCH EXISTING  
ALL NEW RAINWATER GUTTERS INTO EXISTING  
ALL NEW FOUL DRAINAGE TO CONNECT INTO EXISTING

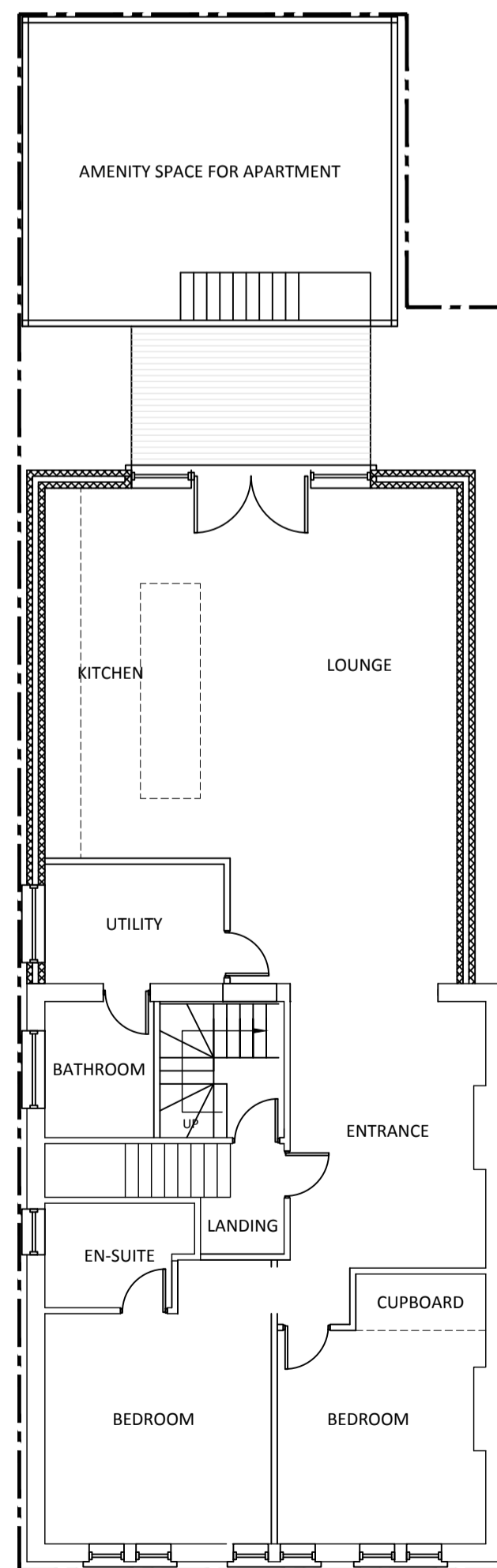
PRIVACY FENCING AROUND AMENITY SPACE  
TO PROVIDE ENCLOSED PRIVATE GARDEN.  
ACCESS PLATFORM TO HAVE SIMILAR  
PRIVACY ENCLOSURE.



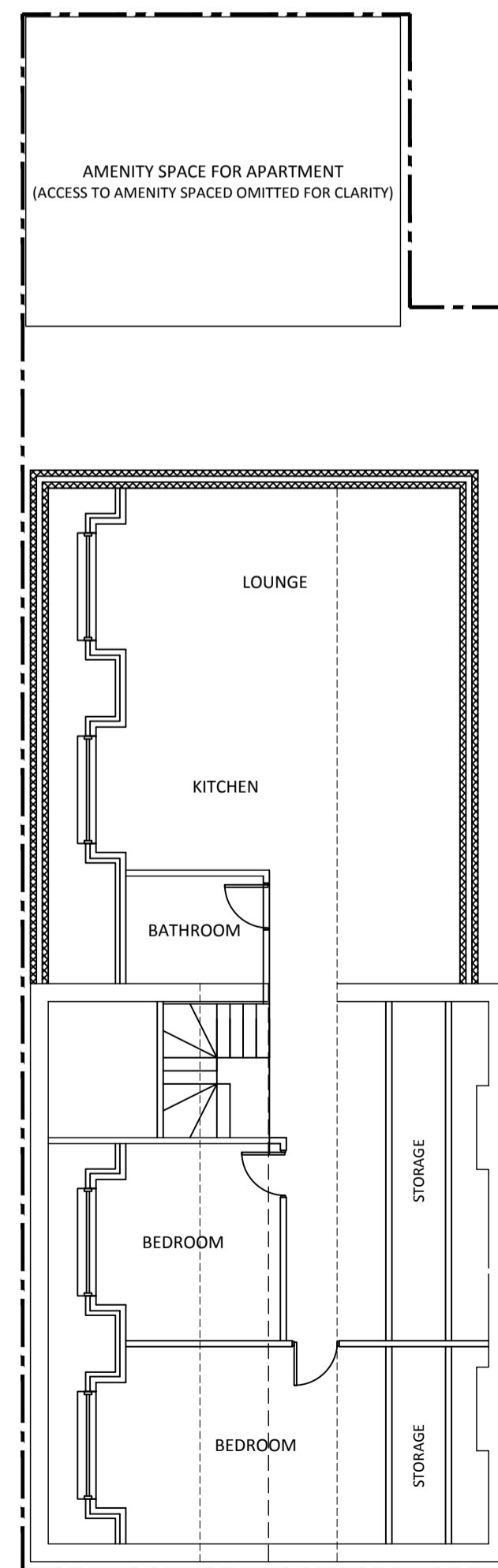
PROPOSED SIDE ELEVATION  
VIEW ON ARROW A



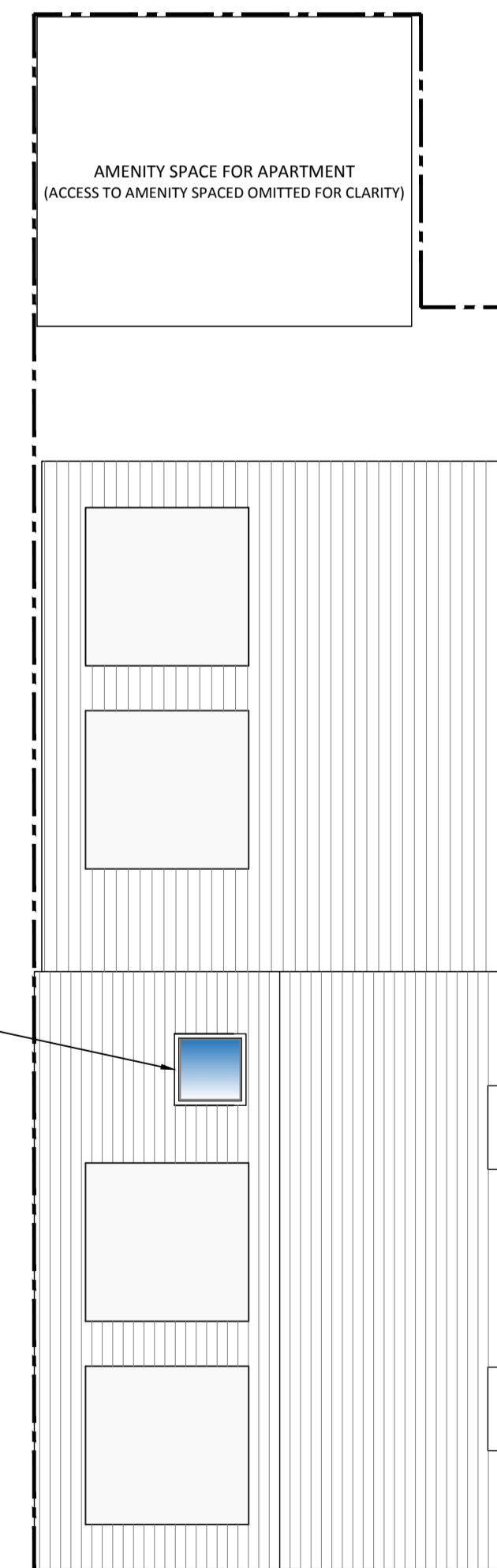
PROPOSED GROUND FLOOR



PROPOSED FIRST FLOOR



PROPOSED LOFT PLAN



PROPOSED ROOF PLAN

**FINISHES SCHEDULE**

EXTERNAL WALLS TO BE CONCRETE BLOCK AND HAVE CONCRETE RENDER TO MATCH EXISTING.  
NEW FRENCH DOORS TO BE UPVC FRAMED & DOUBLE GLAZED.  
NEW WINDOWS TO BE DOUBLE GLAZED UNITS WITH UPVC FRAME.  
ROOF COVERING TO BE SLATE OR SLATE EFFECT TO MATCH EXISTING  
ALL FACIAS TO BE UPVC TO MATCH EXISTING.  
ALL RAINWATER GOODS TO MATCH EXISTING.  
ALL NEW OR ALTERED DRAINAGE RUNS TO GO INTO EXISTING.

**PROPOSED PLANS & ELEVATIONS**

CLIENT:	Mr Mark Daniell
ADDRESS:	21 Station Road, Dinas Powys. CF64 4DE
JOB DESCRIPTION:	Proposed Extension to rear elevation & loft conversion to provide remodelled 1st floor 2 bed apartment & new 2 bed 2nd floor apartment
DATE:	August 2017
SCALE:	1:100, 1:200 & 1:1250 @ A1