

Key

- Site boundary
- Road
- Footpath
- Paving
- Block paved shared surface
- Rumble Strip
- Parking spaces
- Public open space
Approx: 1350sqm
- LAP
Approx: 1100sqm
- Bin collection area (plots 8 - 15)
- Existing tree RPA
- Junction - Visibility splay (distance on drawing)
- Street lighting column

Boundary Treatments:

- 1800mm timber close boarded fence
- 900mm black powder coated estate railing
- Timber knee rail

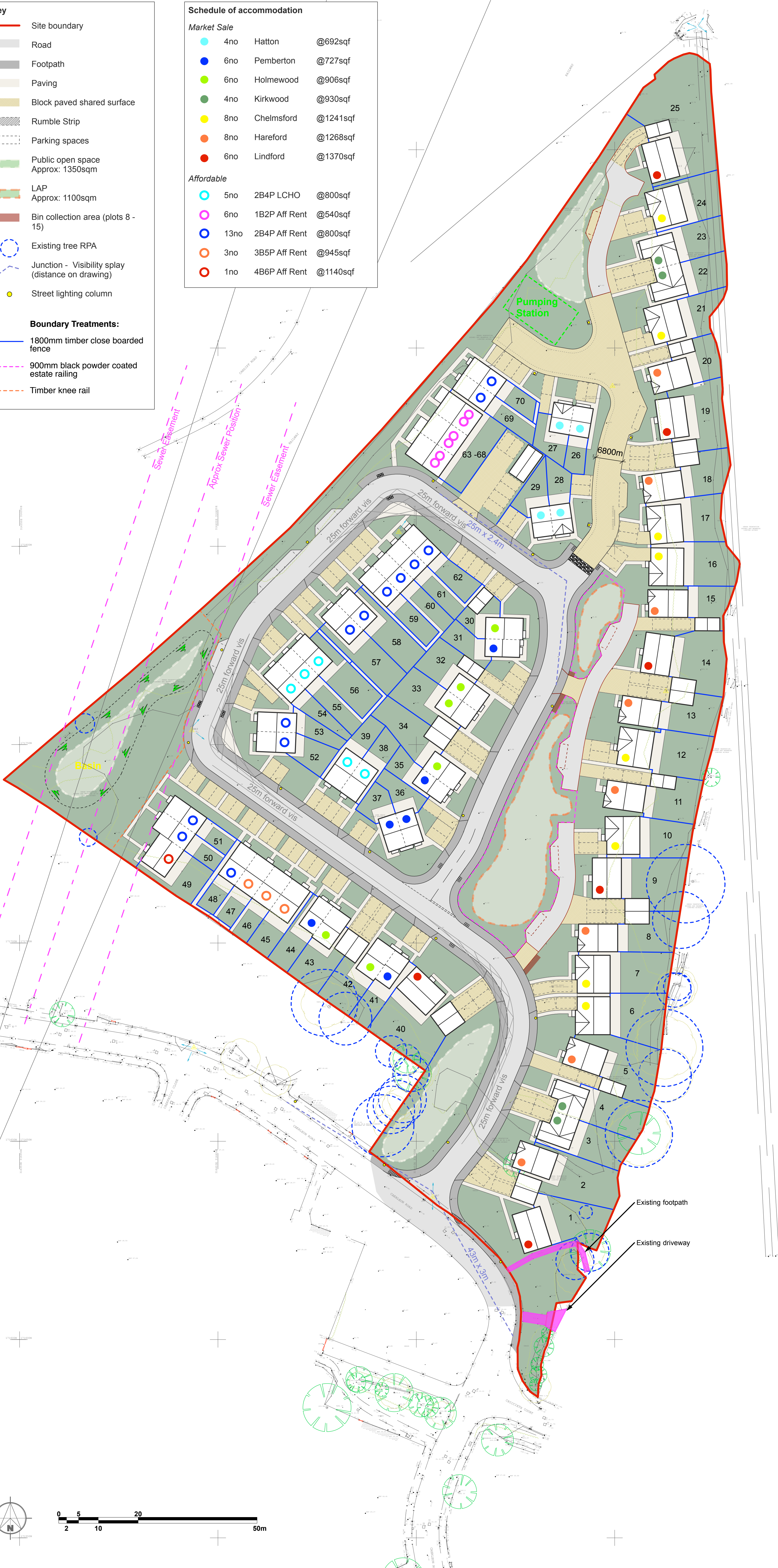
Schedule of accommodation

Market Sale

● 4no	Hatton	@692sqf
● 6no	Pemberton	@727sqf
● 6no	Holmewood	@906sqf
● 4no	Kirkwood	@930sqf
● 8no	Chelmsford	@1241sqf
● 8no	Hareford	@1268sqf
● 6no	Lindford	@1370sqf

Affordable

 5no	2B4P LCHO	@800sqf
 6no	1B2P Aff Rent	@540sqf
 13no	2B4P Aff Rent	@800sqf
 3no	3B5P Aff Rent	@945sqf
 1no	4B6P Aff Rent	@1140sqf



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NOTES
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REVISIONS
 REV: DATE - DRAWN - CHECKED: NOTES

- 09.01.17 - DC - RJF: Drawing created.
- A: 18.01.17 - DC - RJF: Site plan updated following clients comments.
- B: 24.01.17 - DC - RJF: Unit positions amended following client comments. Unit mix changed - 1no Lindford replaced by 1no Hareford.
- C: 09.03.17 - DC - CC: Site layout, unit mix and traffic management amended following pre-app advise. 4B aff introduced in place of 2B and LEAP located in south west corner of site.
- D: 18.04.17 - DC - CC: Unit and road layout amended following client comments. Drainage management shown and 2x LAP's shown in place of 1x LEAP.
- E: 15.05.17 - DC - CC: Road layout and unit amendments made following meeting: 10.05.17
- F: 03.07.17 - DC - CC: Unit layouts and road amended following comments from client.
- G: 05.07.17 - DC - DC: Unit and parking positions updated following client comments.
- H: 05.07.17 - DC - DC: Minor amendments made to unit layout following client comments.
- J: 06.07.17 - DC - CC: Minor amendments made to unit layout following client comments.
- K: 06.07.17 - DC - CC: Minor amendments made to unit layout following client comments.
- L: 07.07.17 - CC: Knee rails removed
- M: 12.07.17 - CC: Attenuation tank removed.
- N: 08.09.17 - BW - DM: Hareford House type flipped on Plots 5, 8, 13, 15 & 18. Plan & Elevation Plot references amended accordingly.
- P: 05.10.17 - DM: Plots 1, 2, 16, 17 & 28 parking revised following Highways comments.
- Q: 13.10.17 - DM: Highway outside plots 54-62 amended to 5.5m tarmac carriageway with 2m footpath.
- R: 27.10.17 - DM: Amendments following Planning / Highways comments: Parking spaces repositioned adjacent to plot 51, additional visitors lay-by added opposite plot 54.
- S: 01.11.17 - JTH: Amendments following Planning / Highways comments: Railing added to LAPs, knee rail added to attenuation basin, plot 25 repositioned to accommodate potential future cycle path, parking amended outside plots 44-51. Paving added outside plots 52 and 62 ensuring forward visibility around corners.
- T: 10.11.17 - DM: Amendments following Planning / Highways comments: Plot 25 garage related to be closer to dwelling. Forward visibility outside plot 40 added. Plots 6-9 driveways amended. Visitor parking bays added outside plots 9, 14, 18 & 19. Street lighting column locations added. Rumble strip and crossing point added outside plot 28.

DRAWING TITLE
 Proposed Site Plan

PROJECT
 Caerleon Road, Dinas Powys

CLIENT
 Kier Living

SCALE 1:500@A1
 1:1000@A3
DATE Jan 2017



DRAWING NO. 5567/P/10
REV T

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