

# Sully Sports and Social Club, South Road, Sully

Reference: 32211

Utility Feasibility Report

August 2014

ATKINS

Plan Design Enable

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# Notice

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## Document history

Job number: 32211			Document ref: Utility Feasibility Report	
Revision	Purpose description	Originated	Checked	Date
Rev 1.0	Feasibility Report	LB	JH	29/08/14

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# 1. Introduction

Atkins Ltd has been engaged by St. Modwen Homes Ltd to evaluate the site wide utility constraints for the proposed development known as Sully Sports and Social.

The site, situated off of South Road in Sully, is a mixed Green and Brownfield redevelopment proposed over two phases. The first phase of the development proposes to relocate the existing sports and social club and expand the leisure facilities to include five new football pitches and a rugby ground. The second phase of the proposal, scheduled for summer 2017, proposes to demolish the existing library and build 200 new gas-heated residential properties of mixed medium and low density. The existing site entrance to the library will remain to serve the proposed new development; with a new pedestrian and cycle connection and a new site access road for the sports and social club proposed from South Road.

The site location and proposed layout are shown on the plans provided by St. Modwen Homes, appended to this report.

This report details the utility constraints identified on and around the proposed development site and is based on the results of the utility search carried out by Atkins under reference 32211. The report proposes methodologies to overcome the utility constraints in order to facilitate the proposed new development.

It is understood that St. Modwen Homes require preliminary guidance on the methodologies and costs associated with any diversions and disconnections required in order to clear the site of utility constraints to enable the works to take place. In addition, it is understood that St. Modwen Homes require information pertaining to available capacity to support the additional loads of the proposed development, as well as budget costs for the new supplies.

This report will:

- Determine the existing constraints on the site created by the utilities shown on the utility plans procured.
- Propose a strategy for removing any constraints from the development.
- Include estimated elemental costs for any diversionary works and disconnections deemed required.
- Include information procured from the regional utility network operators regarding the availability of capacity and budget quotations for new supplies.

The utilities that fall within the scope of this report include high voltage (HV) and low voltage (LV) electricity, low pressure (LP) and medium pressure (MP) gas, telecommunications, potable water and sewer water mains.

## Assumptions

When procuring information in relation to utility network capacity, the information used as a basis for utility demands for the domestic units is based on standard loadings for gas heated residential dwellings. In general, these figures are standard and will be applied by the relevant utility companies when considering

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their network capacity. Typically, per dwelling, this is approximately 2-3kVA of electricity, 60KW of gas and 120l of water per person per day.

For the commercial units, it is anticipated that a small increase in loadings for electricity will be required to supply the flood-lights for the additional leisure facilities. The capacity required for gas and water supplies is assumed to be unaffected by the relocation of the sports and social club, therefore no investigation into capacity for phase one has been undertaken.

### **Basis of Cost**

Any costs detailed within this report that have been indicated by Atkins and not procured from the utility companies will be 'Elemental Estimated Budget Costs' only. They are formed with reference to quotations received from District Network Operators (DNOs) on previous projects of a similar nature.

### **Exclusions**

All elemental budget costs exclude VAT unless otherwise stated. Elemental Estimated Budget Costs exclude service disconnections, diversions and lowering unless otherwise stated. Estimated costs exclude the cost of any sewer diversions and disconnections.

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## 2. Electricity Infrastructure

### 2.1. Western Power Distribution (WPD)

#### Existing Infrastructure & Constraints

- **Substations / Transformers**

Records received from Western Power show four substations located to the north and west of the site.

The Swanbridge substation (51/3442) and Smithies Avenue substation (51/2579) are located to the west of the development site; with Clevedon Avenue substation (51/2560) shown to the north-west corner. The Highbridge Close substation (51/2559) is located just north of the site boundary, between South Road and Winsford Road, and is the closest infrastructure to site; currently supplying the sports and social club.

- **Buried & Overhead Cables**

Buried Low Voltage (LV) infrastructure runs to the north, east and west of the site; with LV mains and service cables running into the site boundary to supply the existing library and SSC.

Buried High Voltage (HV) apparatus is located to the north and west of the site; shown in the furthest carriageways of South Road and Clevedon Avenue, outside the site boundary.

#### Methodology to overcome Constraints

The overhead service connection running into the existing library, and the buried LV main that currently supplies the existing sports and social club will both require disconnecting prior to redevelopment.

The buried LV mains running to the north of the site, along South Road, is at conflict with the proposed new site access road into the sports and social club. LV mains are typically buried at a depth of approximately 450mm, so depending on the depth of excavation, this apparatus may require works to lower or protect the cables.

The buried service cable running alongside the LV apparatus is also likely to be affected by the proposed bellmouth.

#### New Supplies & Capacity

Atkins has raised an enquiry with WPD regarding the availability of capacity in their network to support the proposal for 200 new domestic properties, based on standard loadings. WPD have based their response on providing a supply of 15kVA per unit.

A budget estimate for the new connection of 200 gas-heated properties has been provided by WPD. Information on the capacity available in the existing network is however currently pending.

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## Estimated / Budget Costs

Description of Works	Cost Estimation (£)
<b>New Supplies</b>	
200 new connections, each with a 15kVA supply.	£185,000.00
<b>Disconnections</b>	
Lowering of LV cables on South Road and disconnection of the Overhead library service cable	£17,500.00
<b>Diversionary Works</b>	
None anticipated.	-
<b>Total</b>	<b>£212,500.00</b>

**Assumed depth of electric apparatus: LV = 450mm, HV 11kV = 600mm or lower**

Based on NJUG Volume 2.

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## 3. Gas Infrastructure

### 3.1. Wales and West Utilities (WWU)

#### Existing Infrastructure & Constraints

- **Buried Pipework**

Records received from Wales and West Utilities show Low Pressure (LP) mains running in the carriageway of Clevedon Avenue, to the west of the site, and South Road to the north. 63mm LP mains run from the 125mm pipe in South Road to supply a unit of the existing library and the sports and social club.

#### Methodology to overcome Constraints

The LP apparatus onsite does not impose any constraints to the development proposals. Disconnection of the apparatus supplying the library will be required.

#### New Supplies & Capacity

Atkins has raised an enquiry with WWU regarding the availability of capacity in their network to support the proposal for 200 new domestic properties, based on standard loadings.

Wales and West have confirmed that capacity is sufficient in the 125mm LP main in South Road; located 9m from the site boundary, to supply the development. A point of connection for the new residential supplies has been identified opposite the library.

#### Estimated / Budget Costs

A budget estimate was provided by WWU before a site layout plan was available. The costs are therefore based on the appended design and are likely to be subject to change.

Description of Works	Cost Estimation (£)
<b>New Supplies</b>	
Lay 800m of new LP mains (as shown on the design plan)	£40,340.62
200 new service connections – approx. £600 each (depending on length)	£12,000
<b>Disconnections</b>	
Disconnection of LP supply to the library	£5,000.00
<b>Diversiory Works</b>	
None anticipated.	-
<b>Total</b>	<b>£57,340.62</b>

#### Assumed depth of Gas apparatus = 600mm or lower

Based on NJUG Volume 2.



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## 4. Telecommunications Infrastructure

### 4.1. BT Openreach

#### Existing Infrastructure & Constraints

- **Buried & Overhead Cables**

Records received from BT Openreach show buried telecommunications cables and associated chambers running to the north, east and west of the site; with apparatus shown running into the site boundary from South Road to supply the existing sports and social club.

Overhead telecommunications cables are shown running across South Road into the existing library and down Beach Road to the east of the site, before terminating in the south-east corner of the site next to the Island View caravan Park.

#### Methodology to overcome Constraints

On review of the C2 plan procured from BT, it is likely that the overhead cable running across South Road will need to be dismantled to accommodate the new site entrance for the residential development.

The buried apparatus that is shown running in the closest carriageway of South Road will be affected by the proposed vehicular access to the sports and leisure club. It is recommended that this apparatus is either lowered, protected, or diverted.

BT Openreach have replied to the enquiry for network alterations on South Road, recommending that a site survey is undertaken to ascertain if network protection or diversionary works are needed. Openreach require an advance payment of £600 (inclusive of VAT) to prepare a cost estimate for the work. At the time of reporting, no further instruction has been received from the client.

Please see Atkins estimations below as a guideline for anticipated disconnection and diversion costs.

#### Estimated / Budget Costs

Description of Works	Cost Estimation (£)
<b>Disconnections</b>	
Disconnect and dismantle the overhead main on South Road	£10,000
<b>Diversionary Works</b>	
Lower / protect / divert buried apparatus on South Road to accommodate a proposed site entrance (assuming the joint box is unaffected)	£7,500
<b>Total</b>	<b>£17,500.00</b>

#### Assumed depth of Telecommunications = 350mm or lower

Based on NJUG Volume 2

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## 5. Water Infrastructure

### 5.1. Welsh Water

#### Existing Infrastructure

- **Buried Pipework**

Records received from Welsh Water show a 4 inch Cast Iron potable main running in South Road; with a supply running from this main to supply the existing site.

A 4 inch Cast Iron main also runs in the highway of Beach Road and Clevedon Avenue; where a 3 inch UPVC is also identified.

#### Methodology to overcome Constraints

Welsh Water plans do not show any existing potable water infrastructure within the proposed development site, and as such, no diversions or disconnections are anticipated.

#### New Supplies & Capacity

Atkins has raised an enquiry with Welsh Water regarding the availability of capacity in their network to support the proposal for 200 new domestic properties, based on a standard supply for domestic gas-heated dwellings.

Welsh Water have confirmed that the proposed development is in area where there are known water supply problems; with no improvements to the network planned through the Capital Investment Programme (2010-2015.) Welsh Water recommend that a hydraulic modelling assessment is undertaken in order to establish what would be required to serve the site with an adequate water supply. The fee for assessment is £250+VAT.

#### Estimated / Budget Costs

Description of Works	Cost Estimation (£)
<b>New Supplies</b>	
Details TBC	£TBC
<b>Disconnections and Diversions</b>	
None anticipated.	-
<b>Reinforcement Works</b>	
To be confirmed through an hydraulic modelling assessment	£250 initial fee
<b>Total</b>	<b>£TBC</b>

#### Assumed depth of Potable Water mains = 750mm – 900mm or lower

Based on NJUG Volume 2.

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## 6. Sewer Water Infrastructure

### 6.1. Welsh Water

#### Existing Infrastructure & Constraints

- **Buried Pipework**

Records received from Welsh Water show foul sewer and foul rising mains running across South Road into the north-west corner of the site next to the library and down the western border of the site boundary.

A foul sewer main located in the south-east corner of the site spans horizontally across both phases of development site and joins the foul sewer and foul rising mains running down the west of the site; entering the Clevedon Avenue Sewerage Pumping Station (31165) next to Somerset View, in the south-west corner of the site.

#### Methodology to overcome Constraints

It is not anticipated that the mains running down the west of the site will be affected by the development proposal. The sewer main running across the south of the site appears however does appear to be at conflict with the proposed low density properties in block 10 of the residential development and with one of the new southernmost football pitches.

Please see the enclosed application pack received from Welsh Water; specifically the required 'supporting information' checklist.

#### New Supplies & Capacity

Atkins has raised an enquiry with Welsh Water regarding the availability of capacity in their network to support additional flows of wastewater, and surface water, from the proposed development.

Welsh Water have confirmed that it is unlikely that sufficient capacity exists in the network to accommodate additional foul flows from 200 units. Welsh Water recommends that a hydraulic modelling assessment is undertaken to determine the extent of reinforcement required and to establish a point of connection for the site. The cost for undertaking this study is £250+VAT.

With reference to the surface water flows from the proposed development, infiltration is encouraged, and where this is not possible, through disposal to a watercourse. The discharge of surface water to the public sewer is only made as a last resort, and as such Sustainable Drainage Systems (SUDS); for example, rainwater harvesting, permeable pavements and green roofs, must be investigated.

No highway or land drainage run-off will be permitted to discharge directly or indirectly into the public sewerage system.

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**Assumed depth of Sewer mains = 750mm – 900mm or lower**

Based on NJUG Volume 2

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## **7. Liability**

### **7.1. Existing Plant**

The quality and accuracy of information provided by utilities about their existing plant is indicative and no warranty is made as to its accuracy. Therefore, any map extracts and/or marked up drawings provided by each utility must only be used as a guide and the actual location of plant should be verified by CAT scan or trial holes before construction works commence. It is the responsibility of any on site contractor to identify and locate any utility plant prior to development work going ahead. It is enshrined in the NRSWA that it is the responsibility of any on site contractor to ensure the safety of its employees on site in relation to utility plant and to ensure that there is no damage to utility plant caused by site works.

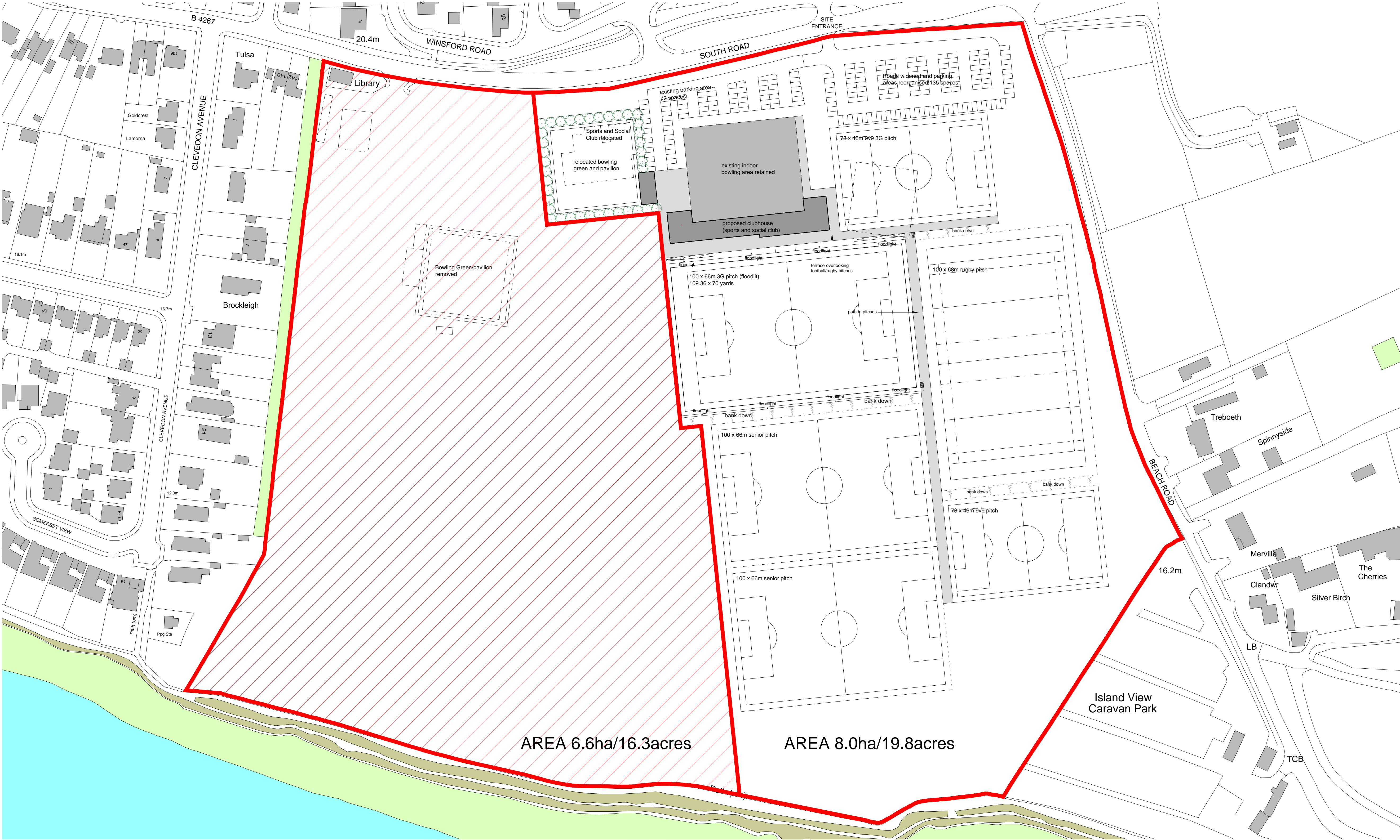
### **7.2. Liability**

Where applicable, our estimates provided in the course of completing this review, are provided on the basis of our experience and are accordingly on an estimate basis. The client should be aware that actual charges made by utilities providers are determined by a number of factors. Accordingly any cost estimates provided are for information purposes only. If the client wishes to have more robust information, better information on localised proposals and phased development proposals should be provided and further estimates should be obtained from utilities providers as and when the better information becomes available. Atkins Ltd will take all reasonable steps to obtain the most robust information but shall accept no liability for the accuracy of such information or report.

## 8. Appendices

Site location plan and utility responses on following sheets.





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Revisions

Job Title  
**Sully Sports Ground**

Client  
**St Modwen**  
Drawing  
**Proposed Site Plan**

Project No.	Drawing No.	Rev	Scale
<b>3773</b>	<b>(03)SK014</b>		<b>1:1000 @ A1</b>
Date	Drawn / Checked	gm/r	Status
<b>21.02.14</b>			<b>preliminary</b>

Outside  
40 Hotwell Road  
BRISTOL  
BS8 4UQ  
T +44 (0) 117 3169 467  
E mailbox@arturus.co.uk  
W www.arturus.co.uk







## Access

- 1: Vehicular access from South Road to residential area re-using existing access with long range view to coast
- 2: Pedestrian/cycle connection and potential emergency access
- 3: Vehicular access to Sully Sports and Leisure Club car parking
- 4: Existing bus stops on South Road
- 5: Public Right of Way access from coastal footpath alongside housing to west
- 6: Public Right of Way access from Beach Road to coastal footpath alongside caravan park
- 7: Potential for vehicular loop within residential area with highway deflections to help create a low speed environment

## Development

- 8: Sully Sports and Leisure Clubhouse, incorporating retained indoor bowls building and extension to the south
- 9: Medium density housing development to create body of the residential area
- 10: Low density housing development along western and southern boundaries
- 11: Housing fronting sports ground with views to eastern woodland
- 12: Low density housing along southern edge to reduce visual impact

## Landscape

- 13: New outdoor bowling green with planted boundary
- 14: All weather 9-a-side pitch with fencing
- 15: All weather full size pitch with fencing and floodlights
- 16: Grass rugby pitch within terraced sports grounds layout
- 17: Two full size grass football pitches
- 18: Grass 9-a-side pitch
- 19: Landscaped edge to South Road to enhance entrance to the village (accommodating retained library if required)
- 20: Pocket park as focus for residential area acting as a gateway space and accommodating a new play area with links to the sports club
- 21: Retained boundary planting
- 22: Residential square with connections to sports pitches and view to eastern woodlands
- 23: Landscaped southern edge to the development alongside Public Right of Way
- 24: Landscaped interface with sports club helping integrate the complementary uses
- 25: Retained hedge alongside Beach Road

A Revisions following team meeting  
Amendments

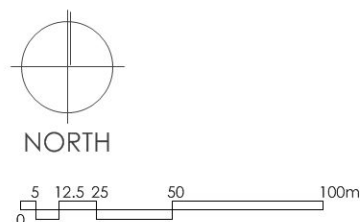
MD31/7/14  
By Date

**DRAFT FOR COMMENT**

Job No/Drawing No <b>13162/3007A</b>	Job Title Sully VOG - St Modwen
Scale 1:2500 @ A3	Date 07/14
Drawn JL/MD	Drawing Title Concept Masterplan

All Dimensions to be checked on site.

pad Design Ltd - The Tobacco Factory - Raleigh Road - Bristol BS3 1TF - Tel. 0117 9530059 - www.pad-design.com





# WESTERN POWER DISTRIBUTION

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BS32 4RZ

Duffryn Bach Tce  
Church Village  
PONTYPRIDD  
CF38 1BN

**Tel:** 01443 211990

**Fax:** 01443 211920

**e-mail:**

dbaker1@westernpower.co.uk

**Date**

22 July 2014

**Our Ref:**

2006572

For the attention of: Linzie Brown

Dear Sir,

**Budget Estimate for electricity connection works by Western Power Distribution (South Wales) plc ("WPD") at Proposed New Development, South Rd, Sully ("the Connection Works").**

Thank you for your enquiry. I am pleased to provide an indication of WPD's likely costs to carry out the Connection Works for you ("**the Budget Estimate**").

I also enclose:

- a WPD guide explaining how the charge for the Connection Works is calculated

## **Basis of Information**

WPD's proposals are based on the information provided, as summarised below:-

- Your e-mail dated 11/07/14
- WPD's completed Connection Enquiry Form dated 11/07/14

WPD's proposals are based on the following design criteria:-

- 200 connections, each with a capacity of 15 kVA

## **Proposed Connection Works**

The Budget Estimate is based upon WPD undertaking both non-contestable and contestable Connection Works. You are able to seek competitive prices for some or all of the contestable



elements. The enclosed guide provides further explanation on competition in new connections works. An outline of the proposed Connection Works is provided below;

Proposed new development of 200 non electrically heated houses

Please note that these proposals are based upon a provisional investigation and no site visit or detailed study has been carried out. Unless otherwise stated it does not include costs for any reinforcement or diversionary work that may be required, or for any environmental, earthing, or stability studies which may also be necessary, although these are generally only required for larger capacity connections.

### **Estimated connection charge**

The estimated connection charge for the provision of the Connection Works is £185,000.00 inclusive of VAT at 0%. Payment terms will be stipulated in any subsequent connection offer.

Please note that the estimated connection charge is for **guidance purposes** only and subject, in particular, to any wayleaves and other consents being successfully obtained. It is based on present day prices and includes a 10% contingency to allow for changes in labour and material costs. It does not include the costs of any necessary civil works, which should be provided by you at your expense.

### **Progression to Offer stage**

This Budget Estimate is not legally binding, but sets out the amount we reasonably estimate we would require you to pay for the Connection Works under a formal connection offer (including the more detailed studies we would need to carry out). If you would like WPD to provide a formal offer for connection please forward your application to the address given below together with any supporting information that will allow us to carry out a detailed study.

Western Power Distribution  
Business Support  
Phoenix Way  
Llansamlet  
Swansea SA7 9HW

E-mail: [wpdnewsupplieswales@westernpower.co.uk](mailto:wpdnewsupplieswales@westernpower.co.uk)

Upon receipt of the application WPD will finalise the design of the Connection Works and firm up the connection charge. Once this has been done WPD will send you an offer, which will reflect any contestable work you wish to carry out and include payment terms and conditions for connection.

If you have any queries regarding this budget estimate please do not hesitate to contact me at the address or telephone number given at the top of this letter.

Please note that this letter and attachments are not to be treated as an offer from WPD to

carry out the Connection Works.

Yours faithfully,

A handwritten signature in blue ink, appearing to read 'Debra Baker', with a large, stylized flourish extending to the right.

**Debra Baker**

**Planner**

Cardiff Construction

Cardiff

Our Reference Number : 7100001397  
Your Reference Number : None Given



Wales & West House  
Spooner Close  
Celtic Springs  
Coedkernew  
Newport NP10 8FZ  
[www.wwutilities.co.uk](http://www.wwutilities.co.uk)

FAO:

Ms. Linzie Brown  
Atkins  
The Hub  
500 Park Avenue  
Aztec West  
Almondsbury  
BRISTOL  
BS32 4RZ

Date	17.07.2014
Network Contact	Carl Day
Telephone	02920 278566
Fax	08701 650051
Email	<a href="mailto:gtuip@wwutilities.co.uk">gtuip@wwutilities.co.uk</a>

Dear Ms. Brown,

Re: Sully SCC, South Road, Sully, PENARTH, CF64 5SX

Thank you for your Enquiry dated 11.07.2014, which we received on 11.07.2014.

The nearest main with sufficient capacity is 9m from the site boundary, and is located to the north of the site. This is a 125mm PE Low Pressure main.

The availability of capacity is based on estimated gas consumption, it is therefore not guaranteed. Please note that at the stage of requesting a quotation for this site, we will require accurate gas consumption details.

Enquiry has only been carried out for domestic properties as due to the large variance in size, usage and load profile VVINU cannot estimate non-domestic loads. Existing services found within the site may require diversionary or abandonment work.

Plans Attached : Yes

If you have any queries, please contact Carl Day on 02920 278566 who will be happy to assist you.

Yours sincerely,

Chris Magness  
Asset Support Manager  
Wales & West Utilities

24 hour gas escape number  
Rhif 24 awr os bydd nwy yn gollwng

**0800 111 999\***

\*calls will be recorded and may be monitored  
caiff galwadau eu recordio a gellir eu monitro

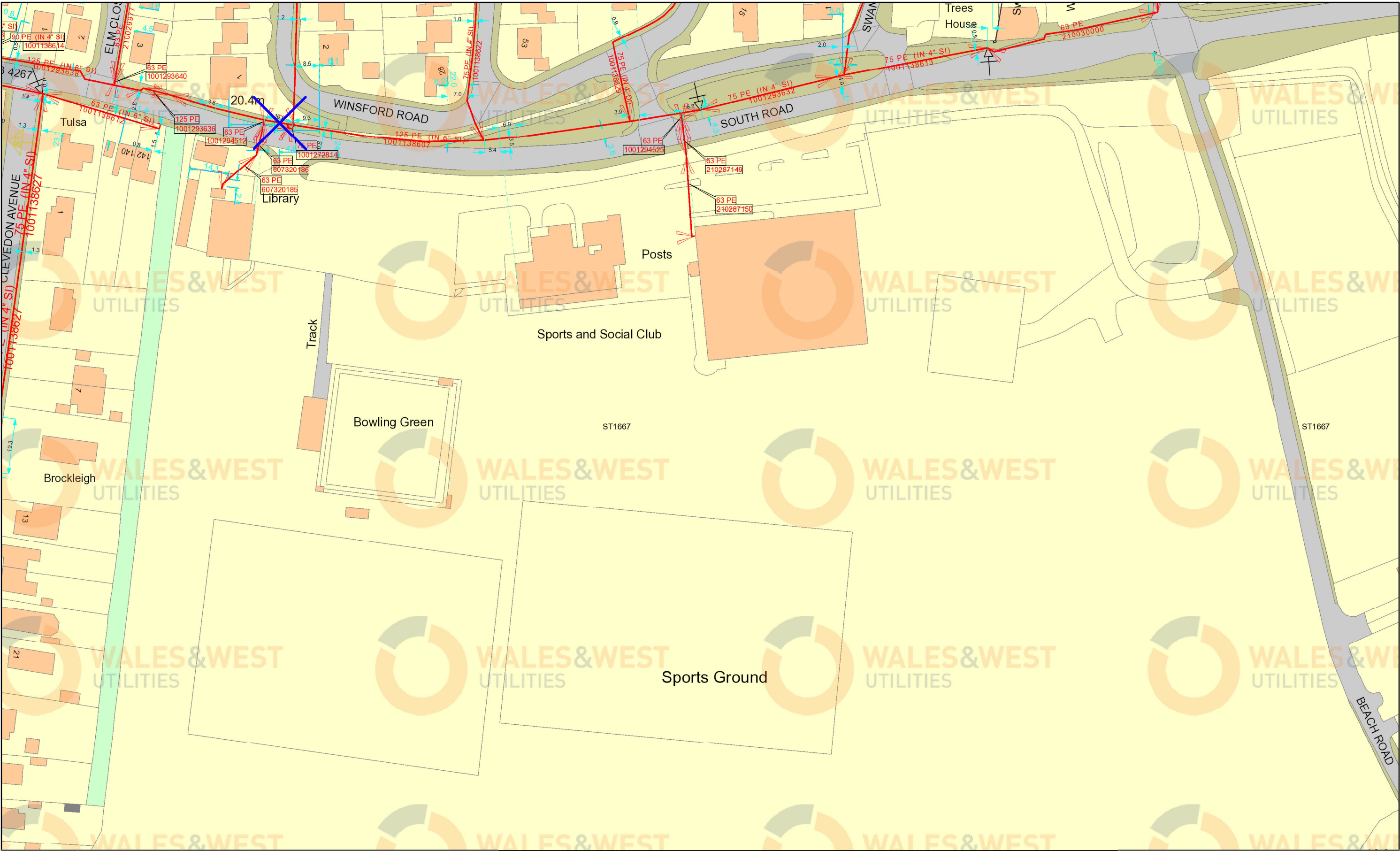


3PC400

Wales & West Utilities Limited

Registered Office:  
Wales & West House, Spooner Close, Coedkernew, Newport NP10 8FZ  
Registered in England and Wales: No. 5046791





Scale	1 : 1250@A3
User ID	Carl.Day
Date	14/07/2014
Grid Ref:	Easting: 316251 Northing: 167808
Internal Use Only	

Low Pressure

Medium Pressure

Intermediate Pressure

High Pressure

Design Pipes

Abandoned

0

30

60

Meters

Valve

Depth of Cover

Syphon

Diameter Change

Material Change

TITLE: 7100001397 125 PE main North of the site.

The plan shows those pipes owned by Wales & West Utilities (WU) in its role as a Licensed Gas Transporter (GT). The information shown on this plan is derived from historic information and may have involved re-scaling plans, and the accuracy of it cannot be guaranteed. Service pipes, valves, syphons, stub connections, etc. may not be shown but their presence should be anticipated. No warranties are therefore given in respect of it. WU its employees and contractors do not accept any liability for any inaccuracy or incompleteness in it.

You must use safe digging practices, in accordance with HS(G)47, to establish the actual position of mains, pipes, services and other apparatus on site before any mechanical plant is used. It is your responsibility to ensure that this information is provided to all persons (either direct labour or contractors) working for you or near gas apparatus. The information shown on this plan should not be used beyond 28 days from the date of issue of this plan as it is subject to updating.

The plan also provides indications of gas pipes owned by other GTs, or otherwise privately owned, which may be present in this area. This information is not information of WU and WU is unable to verify this information or to confirm whether it is accurate or complete. It is supplied voluntarily to assist the user in determining whether to make contact with other GTs or others. The user must obtain such information from the other GT or person concerned. WU, its employees and contractors do not accept any liability for this information or any inaccuracy or incompleteness in it.

WALES&WEST UTILITIES

Wales and West Utilities Ltd., Wales and West House, Spooner Close, Celtic Springs, Coedkernew, Newport, NP10 8FZ

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Our Reference Number 35023693  
Your Reference Number



Wales & West House  
Spooner Close  
Celtic Springs  
Coedkernew  
Newport NP10 8FZ

[www.wwuutilities.co.uk](http://www.wwuutilities.co.uk)

FAO:

Ms. Linzie Brown  
The Hub  
500 Aztec West  
Park Avenue  
Almondsbury  
BRISTOL  
BS32 4RZ

Date	11.08.2014
Network Contact	Sarah Radev
Telephone	02920 278715
Fax	08700 600238

#### Budget Indication

Re: SULLY SSG, South Road, Sully, PENARTH, South Glamorgan, CF64 SSP

Dear Ms. Linzie Brown

Thank you for your recent request relating to the above site address.

I am writing to inform you that we have carried out an initial assessment of your request and we are able to provide you with a budget indication of likely costs.

#### Description of proposed works:-

It is proposed to connect onto the existing 125mm Polyethylene (PE) Low Pressure (LP) main situated in South Road and lay new mains infrastructures consisting of approximately 800m of low pressure mains. Wales & West Utilities to excavate and reinstate all trench work within the public highway. Customer to excavate and backfill all trench work within the site boundary. For more details please see the pre-excavated guidelines enclosed with your quotation.

This budget cost is for mains only. Service costs would depend on length but use £600 each for budget purposes.

Wales & West Utilities estimated costs are £40,340.62 exclusive of any VAT at the applicable rate to carry out the works required. It is important to note that this figure is indicative and does not represent an offer to carry out works. Wales & West Utilities may subsequently provide a firm quotation which is significantly different from the amount indicated in this letter.

A copy of our charging statement along with our methods and principles for connection charges are available on request or via our website- [www.wwuutilities.co.uk](http://www.wwuutilities.co.uk).

It may be possible to obtain an alternative quotation from other Gas Transporters (GTs) or Infrastructure Connection Providers (ICPs) for the provision of this work. A list of registered ICPs can be obtained from the Lloyds Register website [www.lloydsregister.co.uk](http://www.lloydsregister.co.uk) (follow the Schemes / GIRS link). The Society of British Gas Industries can also provide information on alternative installers at [www.sbgj.org.uk](http://www.sbgj.org.uk). A list of GTs can be found on the OFGEM website [www.ofgem.gov.uk](http://www.ofgem.gov.uk).

If you have any queries or would like to progress this budget indication to a firm quotation please contact Sarah Radev on 02920 278715 who will be happy to assist you.

24 hour gas escape number  
Rhif 24 awr os bydd nwy yn gollwng

**0800 111 999\***

\*calls will be recorded and may be monitored  
caiff galwadau eu recordio a gellir eu monitor



BSL1808

Wales & West Utilities Limited

Registered Office:

Wales & West House, Spooner Close, Coedkernew, Newport NP10 8FZ  
Registered in England and Wales: No.5046791



Yours sincerely

Nigel Winnan  
Connections Manager  
Wales & West Utilities

24 hour gas escape number  
Rhif 24 awr os bydd nwy yn gollwng

**0800 111 999\***

\*calls will be recorded and may be monitored  
caiff galwadau eu recordio a gellir eu monitor



BSL1808

**Wales & West Utilities Limited**

Registered Office:

Wales & West House, Spooner Close, Coedkernew, Newport NP10 8FZ

Registered in England and Wales: No. 5046791







**ATKINS**  
THE HUB  
500 PARK AVE.  
AZTEC WEST  
BRISTOL  
BS32 4RZ

OUR REF: BLP1D7/RGE

DATE:19/08/14

YOUR REF: ~~BLP1D7~~ D469/RGE/

Dear Sirs,

**TITLE: PROPOSED DEVELOPMENT AT SULLY SSC OFF SOUTH RD. SULLY, VALE OF GLAMORGAN.**

Thank you for your Email dated 23<sup>RD</sup> July 2014 and the associated plan.

Openreach has major apparatus in the vicinity of your works and I am responsible for protecting the integrity of this network where it may be affected by your proposals for changes such as alterations to existing highways, new building works, etc.

The plan that you have supplied has insufficient detail for me to determine the exact impact on the Openreach network. If your proposals affect this network, an initial investigation / survey of your plans will be required to ascertain if network protection or diversionary works are needed. Work of this nature is chargeable.

In this event, Openreach will require an advance payment of £600 (inclusive of VAT) to prepare a cost estimate which is non-refundable on the understanding that the risk to Openreach apparatus was correctly assessed.

After receipt of payment, we will contact you where necessary to discuss the works and inform you in writing of our requirements. If there is no alternative to the alterations work, we will include a single estimate of the costs anticipated. We would normally expect to complete this within 10 working days when we will also inform you of the next steps. If more detailed or alternative costings are needed, then further payments will be requested from you.

Please note that this letter constitutes a change to previous Openreach policy and an explanation is provided overleaf.

If you have not already done so, please ensure you include preferred contact details, detailed plans and any supporting information for your proposals along with the fixed payment. Plans showing any revised road layout and the location of the alternative feed to the library will also be helpful.

**Repayments (Alterations)**

PP6.03H  
STADIUM HOUSE  
Park Street  
Cardiff  
CF10 1NT

**tel** 02920 722433  
**fax** 02920 722291  
**mob**  
**email** [russ.eveleigh@openreach.co.uk](mailto:russ.eveleigh@openreach.co.uk)

See over for payment details. *Please note that we offer a single free site visit service to locate and mark the position of Openreach apparatus within your work area. To arrange a site visit from a Plant Protection Officer call 0800 023 2023, Fax: 01332 578650, Email: [dbyd@openreach.co.uk](mailto:dbyd@openreach.co.uk)*

**Repayments (Alterations)**

PP6.03H  
STADIUM HOUSE  
Park Street  
Cardiff  
CF10 1NT

**tel** 02920 722433  
**fax** 02920 722291  
**mob**  
**email** [russ.eveleigh@openreach.co.uk](mailto:russ.eveleigh@openreach.co.uk)

# openreach

a BT Group business

*Openreach also provides a "Maps-by-Email" service to enable you to receive a copy of our plant records. If you haven't used this service before and would like to, please send an e-mail requesting details to [stoke.incoming.notices@openreach.co.uk](mailto:stoke.incoming.notices@openreach.co.uk) and an information pack will be sent to you.*

If you are sure that your proposals do not affect the Openreach network, then please ignore the request for payment above.

Yours faithfully,



R.G. Eveleigh  
Repayment Project Engineer

**Repayments (Alterations)**

PP6.03H  
STADIUM HOUSE  
Park Street  
Cardiff  
CF10 1NT

**tel** 02920 722433  
**fax** 02920 722291  
**mob**  
**email** [russ.eveleigh@openreach.co.uk](mailto:russ.eveleigh@openreach.co.uk)



a BT Group business

## Payment Details

There are two ways to pay the standard charge (£600.00 including VAT).

1. Our preferred method of payment is by Cheque, payable to **British Telecommunications Plc**  
Please send the Cheque with a copy of this letter to the address shown below.

Write your cheque number here: \_\_\_\_\_

2. Using Bank Automated Clearing Services (BACS)

Please tick here [     ] and send a copy of this page to the address shown above.

An invoice for payment will be returned with the necessary BACS payment details.  
Please quote the Openreach reference number / invoice number otherwise payment may not be allocated to your job.

**For either method of payment please complete this page and return with your order / letter of authorisation to the Project Engineer, address above. Please remember, however you pay, the works will not commence until this page and your payment have been received.**

<b>Title/Location of Work</b>	
<b>Postal Address</b>	
<b>Openreach Reference</b>	
<b>Company Name</b>	
<b>Client Contact</b>	
<b>Client Tel</b>	

Our VAT number is **245719348**

### **Change to Openreach Policy – an explanation.**

Openreach policy for dealing with the above registered works prior to November 2008 consisted of the following stages...

- 1) Carrying out an initial investigation and informing the originator when network apparatus was unlikely to be affected.
- 2) Where apparatus was likely to be affected, providing an initial budget costing for any alterations (target response within 20 working days).
- 3) Estimating the time for, and requesting a bespoke payment in advance to...
- 4) Carry out a site investigation and provide a Detailed Client Estimate with a specification (target response within 25 working days).
- 5) Obtain payment in advance for the alterations project before planning and scheduling the work.

In cases such as yours, Openreach alterations appear to be straightforward and more appropriate to the provision of a single costing; therefore we consider stages 2 and 3 to be unnecessary. Additionally, the cost of completing these stages were recovered via our overheads and originators who progressed to stage 4 and beyond, indirectly paid for them.

The letter we have sent to you represents a change in Openreach policy as from November 2008, where selected originators now pay a standard fixed charge for a detailed investigation including where necessary at no extra cost, a Detailed Client Estimate within a target time scale of 25 working days. The fixed charge has been calculated using volume and cost data from the financial year 2007/2008.

We are confident this simplified policy has reduced the response time and the process costs for originators.

### **Repayments (Alterations)**

PP6.03H  
STADIUM HOUSE  
Park Street  
Cardiff  
CF10 1NT

tel 02920 722433  
fax 02920 722291  
mob  
email [russ.eveleigh@openreach.co.uk](mailto:russ.eveleigh@openreach.co.uk)

**End of Appendix A**

**Repayments (Alterations)**

PP6.03H  
STADIUM HOUSE  
Park Street  
Cardiff  
CF10 1NT

**tel** 02920 722433  
**fax** 02920 722291  
**mob**  
**email** [russ.eveleigh@openreach.co.uk](mailto:russ.eveleigh@openreach.co.uk)



Legend

CAUTION AREA

BT.CAUTION\_AREA

EQUIPMENT

- FIBRE, TCODE
- COPPER, CABINET
- COPPER, DP

DUCT

- AERIAL
- TUNNEL
- DUCT

PROPOSED

- AERIAL
- DUCT

STRUCTURE

- YCODE
- CABINET SHELL
- SPLIT COUPLING
- POLE
- KIOSKS
- MANHOLE
- JOINTBOX
- CHANGE OF STATE
- DUCT TEE

PROPOSED

- MANHOLE
- JOINTBOX
- DUCT TEE

Other proposed plant is shown using dashed lines.

BT symbols not listed above may be disregarded.



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IMPORTANT WARNING:  
Information regarding the location of BT apparatus is given for your assistance and is intended for general guidance only. No guarantee is given of its accuracy. It should not be relied upon in the event of excavations or other works being made near to BT apparatus, which may exist at various depths and may deviate from the marked route.

Existing BT plant may not be recorded.  
Information valid at time of preparation.  
  
FOR FREE ON-SITE LOCATION & MARKING SERVICE  
CALL THE EXCHANGE OPERATOR AND ASK FOR :-  
  
FREEPHONE 0800 9173993  
FAX 0208 3284050  
NATIONAL NEWSITES 0800 616866



PLANT INFORMATION REPLY

<Double-Click to add Text>

<Double-Click to add Text>

openreach  
a BT Group business



Miss Linzie Brown  
ATKINS  
The Hub  
500 Park Avenue Aztec West  
Bristol  
Avon  
BS32 4RZ

**Date: 29/ 08/ 2014**  
**Our Ref: PPA0000591**

Dear Miss Brown

**Grid Ref: ST1626167726 316261 167726**  
Site: South Road Sully  
**Development: Sully SSC**

We refer to the pre-planning enquiry relating to the above site, and we can provide the following comments in respect to the proposed development.

### SEWERAGE

The public sewerage system in the vicinity of the proposed site is generally of a separate type.

It is unlikely that sufficient capacity exists in the public sewerage system to accommodate the additional foul flows of 200 units. If you wish to progress this development then it will be necessary for a hydraulic modelling assessment to be undertaken on the public sewerage system at the developer's expense. The conclusion of this study will determine the connection point and / or any improvement works required.

The costs for undertaking this study must be paid for by the developer. For you to obtain a quotation for the hydraulic modelling assessment, we will require a fee of £250 + VAT to engage our consultants, this fee is non refundable.

With reference to the surface water flows from the proposed development, developers are required to fully exhaust all the technical options outlined under Sections 3.2 and 3.4 of Part H of the publication 'Building Regulations 2000. This document advocates the use of the hierarchical approach, which encourages infiltration and, where infiltration is not possible, through disposal to a watercourse in liaison with the Land Drainage Authority and/or the Environment Agency. The developer is advised that the discharge of surface water to the public sewer is only to be made as a last resort, and as such sustainable drainage systems (SUDS) must be investigated. SUDS is an approach to managing surface water run-off which seeks to imitate natural drainage systems and retain water on or near the site as opposed to traditional drainage approaches which involve piping water off site as quickly as possible.

SUDS involve a range of techniques including green roofs, rainwater harvesting, permeable pavements which offer significant advantages over conventional piped drainage systems in reducing flood risk by attenuating the rate and quantity of surface water run-off from a site, promoting groundwater recharge, and improving water quality and amenity. The variety of SUDS techniques available means that virtually any development should be able to include a scheme based around these principles. Good justification would be required not to incorporate a SUDS scheme on the site.

Please also note that no highway or land drainage run-off will be permitted to discharge directly or indirectly into the public sewerage system.

If a connection is required to the public sewerage system, the developer is advised to contact us on Tel: 0800 917 2652.

Please note that in order to make a connection it may be necessary to cross third party land, for which you must first gain permission from all the relevant landowners. Should you encounter difficulties in gaining the permission to do so, it may be possible to requisition a new sewer under Sections 98 to 101 of the Water Industry Act 1991 from the boundary of the proposed development to the public sewerage system. Should you require further information please write to us at the address given above.

Some public sewers and lateral drains may not be recorded on our maps of public sewers because they were originally privately owned and were transferred into public ownership by nature of the Water Industry (Schemes for Adoption of Private Sewers) Regulations 2011. The presence of such assets may affect the proposal. In order to assist us in dealing with the proposal we request the applicant contacts our Operations Contact Centre on 0800 085 3968 to establish the location and status of the sewer. Under the Water Industry Act 1991 Dwr Cymru Welsh Water has rights of access to its apparatus at all times.



Welsh Water is owned by Glas Cymru – a 'not-for-profit' company.  
Mae Dwr Cymru yn eiddo i Glas Cymru – owmni 'nid-er-elw'.

We welcome correspondence in  
Welsh and English

Dŵr Cymru Cyf, a limited company registered in  
Wales no 2366777. Registered office: Pentwyn Road,  
Nelson, Trehamis, Mid Glamorgan CF46 6LY

Rydym yn croesawu gohebiaeth yn y  
Gymraeg neu yn Saesneg

Dŵr Cymru Cyf, owmni offyngedig wedi'i gofrestru yng  
Nghymru rhif 2366777. Swyddfa gofrestredig: Heol Pentwyn  
Nelson, Trehamis, Morgannwg Ganol CF46 6LY.



The Welsh Government have introduced new legislation that will make it mandatory for all developers who wish to communicate with the public sewerage system to obtain an adoption agreement for their sewerage with Dwr Cymru Welsh Water (DCWW). Welsh Ministers Standards for the construction of sewerage apparatus and an agreement under Section 104 of the Water Industry Act (WIA) 1991 will need to be completed in advance of any authorisation to communicate with the public sewerage system under Section 106 WIA 1991 being granted by DCWW.

We have published information on the Welsh Ministers Standards which will be available for viewing on the Developer Services Section of our website - [www.dwrcymru.com](http://www.dwrcymru.com)

Further information on the Welsh Ministers Standards can be found on the Welsh Government website - [www.wales.gov.uk](http://www.wales.gov.uk)

### **SEWAGE TREATMENT**

No problems are envisaged with the Waste Water Treatment Works for the treatment of domestic discharges from this site.

### **WATER SUPPLY**

The proposed development is in an area where there are water supply problems for which there are no improvements planned within our current Capital Investment Programme AMP5 (years 2010 to 2015). In order to establish what would be required to serve the site with an adequate water supply, it will be necessary for the developer to fund the undertaking of a hydraulic modelling assessment on the water supply network. For the developer to obtain a quotation for the hydraulic modelling assessment, we will require a fee of £250 + VAT.

We trust the above information is helpful. Our response is based on the information provided in your enquiry and should the information change we reserve the right to make a new representation.



Welsh Water is owned by Glas Cymru – a 'not-for-profit' company.  
Mae Dwr Cymru yn eiddo i Glas Cymru – owmni 'nid-er-elw'.

We welcome correspondence in  
Welsh and English

Dwr Cymru Cyf, a limited company registered in  
Wales no 2366777. Registered office: Pentwyn Road,  
Nelson, Trehamis, Mid Glamorgan CF46 6LY

Rydym yn croesawu gohebiaeth yn y  
Gymraeg neu yn Saesneg

Dwr Cymru Cyf, owmni cyfyngedig wedi'i gofrestru yng  
Nghymru rhif 2366777. Swyddfa gofrestredig: Heol Pentwyn  
Nelson, Trehamis, Morgannwg Ganol CF46 6LY.

If you have any queries please contact Developer Services on 0800 917 2652 or via email at [developer.services@dwrcymru.com](mailto:developer.services@dwrcymru.com)

Please quote our reference number in all communications and correspondence.

Yours faithfully,



Owain George

Lead Development Control Officer

***Demands upon the water and sewerage systems change continually; consequently the information given above should be regarded as reliable for a maximum period of 12 months from the date of this letter.***



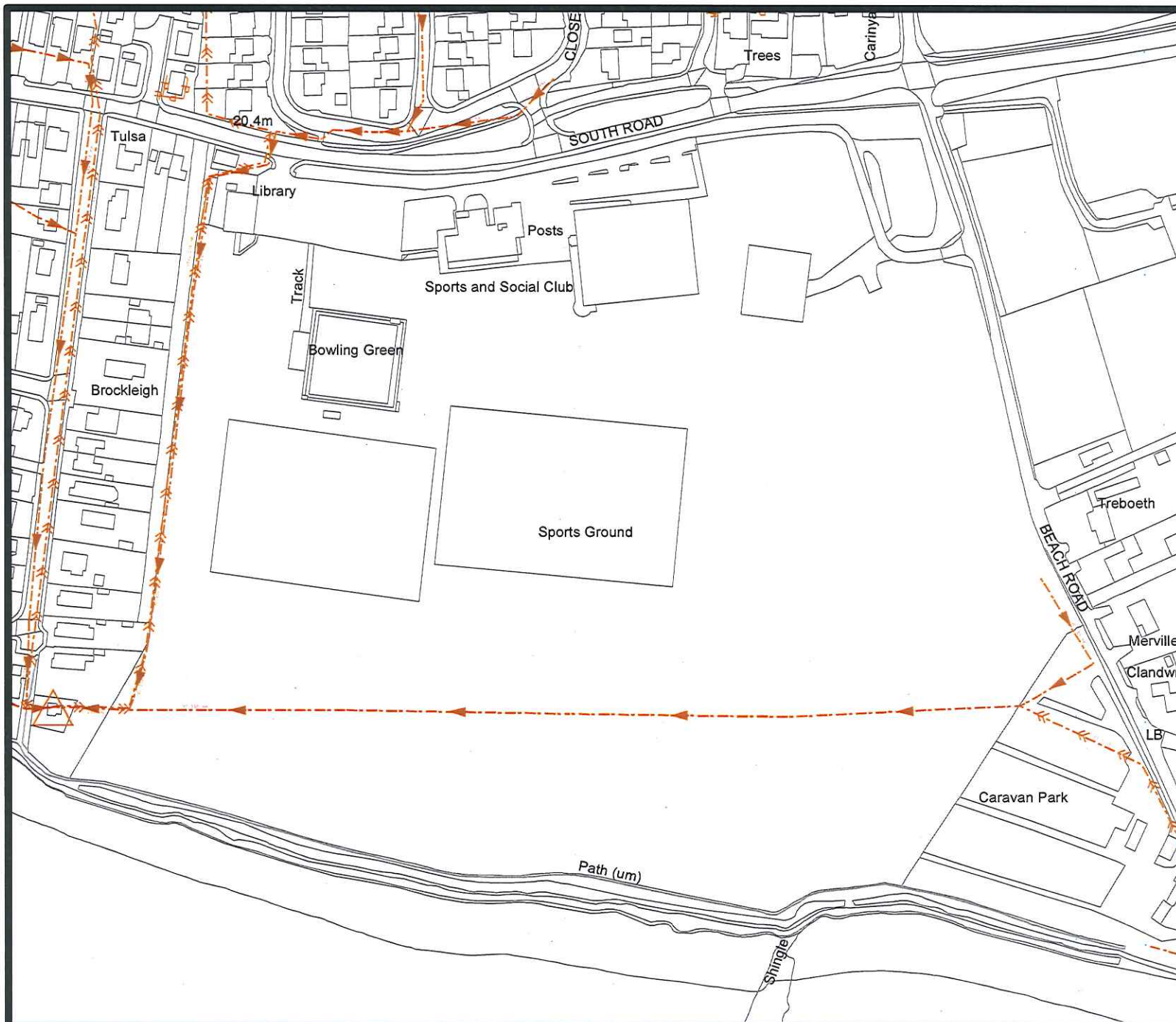
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Mae Dŵr Cymru yn eiddo i Glas Cymru – owmni 'nid-er-elw'.

We welcome correspondence in  
Welsh and English

Dŵr Cymru Cyf, a limited company registered in  
Wales no 2366777. Registered office: Pentwyn Road,  
Nelson, Trehamis, Mid Glamorgan CF46 6LY

Rydym yn croesawu gohebiaeth yn y  
Gymraeg neu yn Saesneg

Dŵr Cymru Cyf, owmni cyfyngedig wedi'i gofrestru yng  
Nghymru rhif 2366777. Swyddfa gofrestredig: Heol Pentwyn  
Nelson, Trehamis, Morgannwg Ganol CF46 6LY.



**Dŵr Cymru**  
**Welsh Water**

PPA0000591



**LEGEND(Representative of most common features)**

	Manhole		Outfall
	Surface water chamber		Lamp pole
	Combined chamber		Storm Overflow
	Combined sewer overflow		Rising main
	Special purpose chamber		Gravity sewer
	Treatment works		Private sewer
	Pumping station		Private sewer subject to Sect. 104 adaptation agreement
	Valve		Private Sewer Transfer
	RED - Sewer symbol colour indicates the type		Lateral Drain
	GREEN - Surface Water		Inspection Chamber
	BROWN - Road		
	Purple - Former S22 sewers (for historical purposes only)		

**Notes:**

Whilst every reasonable effort has been taken to correctly record the pipe material of Dŵr Cymru assets, there is a possibility that in some cases pipe material (other than Asbestos Cement or Pitch Fibre) may be found to be asbestos cement (AC) or Pitch Fibre (PF). It is therefore advisable that the possible presence of AC or PF pipes be anticipated and considered as part of any risk assessment prior to excavation.

Dŵr Cymru Cŵl gives this information as to the position of its underground apparatus by way of general guidance only on the strict understanding that it is based on the best information available and no warranty as to its correctness is relied upon in the event of excavations or other works made in the vicinity of the Company's apparatus and any onus of locating the apparatus before carrying out any excavations rests entirely on you. It must be understood that the furnishing of the information is entirely without prejudice to the provision of the New Roads and Streetworks Act 1991 and of the Company's right to be compensated for any damage to its apparatus.

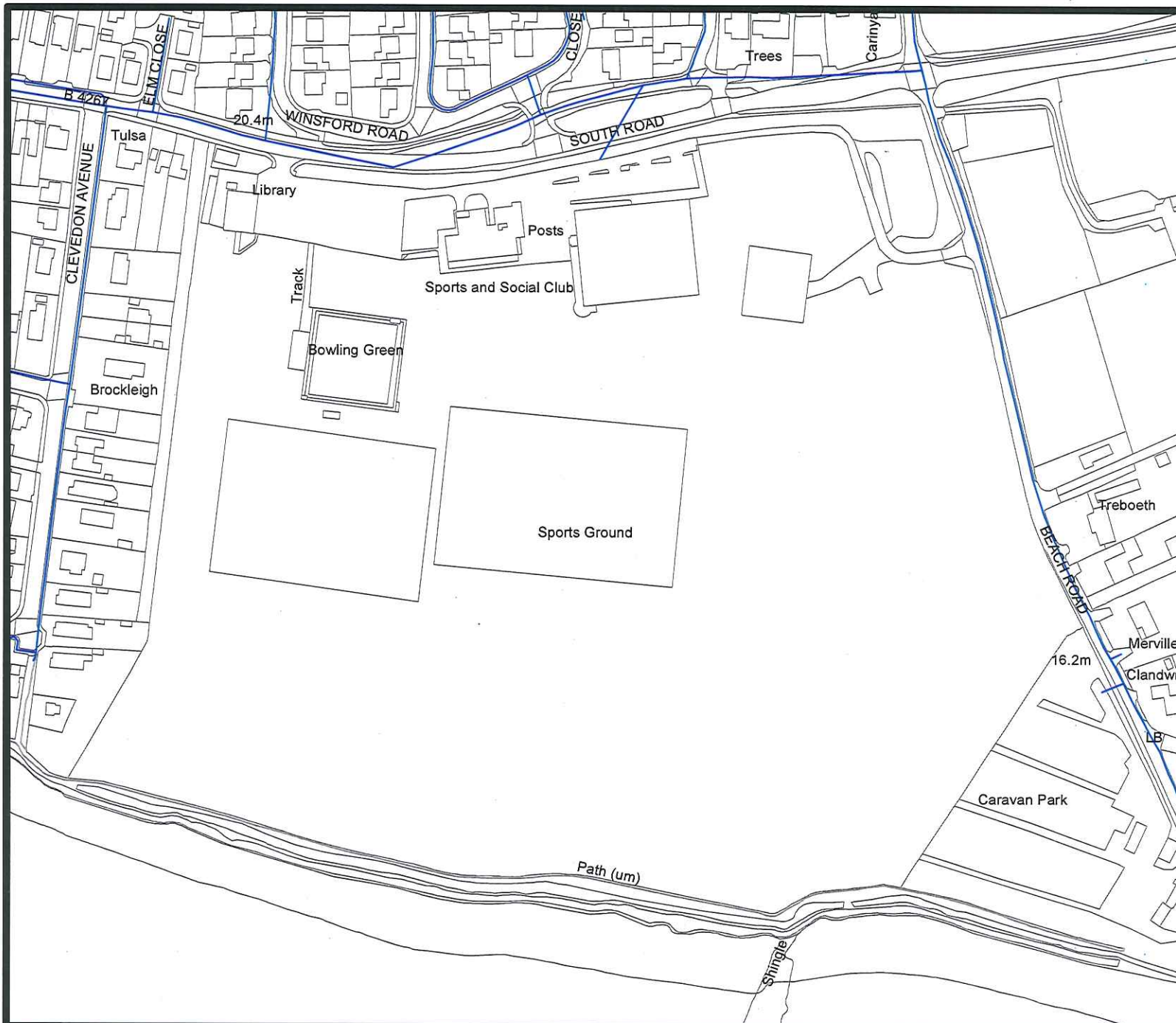
Service pipes are not generally shown but their presence should be anticipated.

**EXACT LOCATIONS OF ALL APPARATUS  
TO BE DETERMINED ON SITE.**

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Map Ref: 316261 167726  
Map scale: 1:2,500  
Printed by:  
Printed on:





PPA0000591



#### LEGEND

Clean network:	Sluice valve	Stop tap
Pressure reducing valve	Water Treatment Works	
Meter	Water Pumping Station	
Bulk meter	Existing main	
Hydrant	Non-operational main	
Cap end	Raw Water	
Air valve		
	Nil: Water main symbol colour indicates the type.	
	LIGHT BLUE - Trunk	
	DARK BLUE - Distribution	
	YELLOW - Sewer	

#### Notes:

Whilst every reasonable effort has been taken to correctly record the pipe material of DCWW assets, there is a possibility that in some cases pipe material (other than Asbestos Cement or Pitch Fibre) may be found to be asbestos cement (AC) or Pitch Fibre (PF). It is therefore advisable that the possible presence of AC or PF pipes be anticipated and considered as part of any risk assessment prior to excavation.

Dŵr Cymru Cyl gives this information as to the position of its underground apparatus by way of general guidance only on the strict understanding that it is based on the best information available and no warranty as to its correctness is relied upon in the event of excavations or other works made in the vicinity of the Company's apparatus and any onus of locating the apparatus before carrying out any excavations (roads entirely) on you. It must be understood that the furnishing of the information is entirely without prejudice to the provision of the New Roads and Streetworks Act 1991 and of the Company's right to be compensated for any damage to its apparatus.

Service pipes are not generally shown but their presence should be anticipated.

**EXACT LOCATIONS OF ALL APPARATUS TO BE DETERMINED ON SITE.**

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Map Ref: 316261 167726  
Map scale: 1:2,500  
Printed by:  
Printed on:

Miss Linzie Brown  
The Hub  
500 Park Avenue  
Bristol  
BS32 4RZ

Date: 29/07/2014  
Our Ref: PSD0000267

Dear Miss Brown

**Re: Proposed Alteration of Public Sewers : South Road Sully**

I refer to your recent enquiry regarding the possible alteration at the above location of part of the public sewerage system. Please find enclosed a copy of our application form and an information checklist for your use. In order to progress matters you will need to complete and return all the forms together with the information requested in the checklist so that we can make an assessment of the viability of your proposal.

If we decide that you may carry out all or some the works, you will be required to enter into a legal agreement with us and the work will be subject to our vetting and inspection procedures. If we decide that we must carry out the works, you will be required to pay our anticipated costs in advance. No work will be carried out until this payment is made.

We enclose guidance, which explains the process and our requirements should we decide that your proposed alteration to the public sewerage system is permissible. Please read this carefully before making your preliminary application. You can also find additional information and guidance regarding this process on our website: [www.dwrcymru.com/developer-services](http://www.dwrcymru.com/developer-services).

**Please note. Any works carried out on an existing public sewer prior to the completion of an Agreement are unauthorised and will be subject to legal proceedings. Any other works carried out prior to completion of an agreement are carried out at the developer's own risk and expense.**

Yours faithfully

Developer Services

# Public Sewer Diversion Application Pack

Reference: PSD



Please ensure you have read our guidance notes before completing this enquiry form and include as much information as possible. If mandatory fields (marked with a **\***) are not completed this may result in your application being delayed.

## Confirmation: Applicant/Developer Details

Title	<input type="text"/>	*
First Name/Company Name	<input type="text"/>	*
Surname (If applicable)	<input type="text"/>	
House/Building Name & Number	<input type="text"/>	
Street	<input type="text"/>	*
Town/City	<input type="text"/>	*
Post Code	<input type="text"/>	*
Contact Telephone Number(s)	<input type="text"/>	*
E-mail address	<input type="text"/>	

## Supporting Documentation: Checklist

		Comment
Site layout plans showing existing and proposed public sewers, watercourses and easements	<input type="checkbox"/>	<input type="text"/>
Longitudinal Section Drawings of existing and proposed sewers	<input type="checkbox"/>	<input type="text"/>
Construction details	<input type="checkbox"/>	<input type="text"/>
Hydraulic Calculations	<input type="checkbox"/>	<input type="text"/>
Copy of relevant planning permission/Building Regulations information	<input type="checkbox"/>	<input type="text"/>
Cost estimate for the proposed diversion works	<input type="checkbox"/>	<input type="text"/>
Confirmation from owners of private sewers and drains of their acceptance of the proposals	<input type="checkbox"/>	<input type="text"/>
CCTV Survey of public sewers proposed for abandonment	<input type="checkbox"/>	<input type="text"/>
National Grid Reference e.g. ST123456	<input type="text"/>	

## Signature & Confirmation

Signed	<input type="text"/>	Print Name	<input type="text"/>
Date	<input type="text"/>		

# Public Sewer Diversion Guidance Notes



Anyone with an interest in any land which contains a public sewer or associated apparatus has the right to request the alteration or removal, including diversion (generally referred to throughout these notes as diversion) of that apparatus to accommodate a proposed improvement of that land (e.g. development or change of use). This right is granted by Section 185 of the Water Industry Act 1991 (WIA 1991) and extends to anyone with an interest in adjacent land where the presence of public sewerage apparatus would hinder proposed improvement. This does not apply to sewers in any public highway.

*(Note: 'Interest' usually denotes ownership. Anyone who is not an owner of the land should obtain legal advice on their eligibility to apply prior to making an application.)*

Approximate locations of our sewers can be found in our record of public sewers. The map of public sewers contains details of public sewers and drains which are accurate to the best of our knowledge, but some public sewers and drains may not be recorded in our map of public sewers because they were originally privately owned and were transferred into public ownership by Act of Parliament or Statutory Regulation. The presence of such assets may affect your proposals and you can help us to deal with your proposals by identifying any sewers of which you are aware and which are not shown in the public sewer record. We can assist you to collect the information required but we may charge for this service.

Any alteration to ground levels over or near to a public sewer is also covered by the WIA 1991 and you will require our permission before carrying out such works.

You can request us to alter, remove or divert apparatus by serving a formal Notice which is included with the Application Form. We have a duty to consider such a request except to the extent that the request is unreasonable. Any request which would result in a reduction in the performance of the apparatus, or would render it unusable or inaccessible, would normally be considered to be unreasonable.

When we have confirmed that an asset may be diverted or otherwise altered, we will consider whether we will undertake the work or whether we will allow you to enter into an Agreement (commonly called a Section 185 Diversion Agreement) to undertake some or all of the work yourself. On the occasions where we consider it necessary to carry out the work ourselves, we will inform you at the earliest opportunity. If we are to carry out the work you will not be required to enter into an agreement as described above.

## **Making An Application**

When we receive your application, we will first check whether all the information necessary for us to undertake an assessment of your application has been provided. If not, we will ask you to provide the missing information. To avoid incurring any delay, please be sure to complete the checklist attached to this document, and provide all supporting information requested within the accompanying checklist.

When we have completed our assessment of your application you will be informed whether your proposal has been accepted or rejected. If your application is rejected we will inform you in writing of the reasons why or ask for further information from you. If your application is accepted we will request payment and invoice you accordingly. Once payment has been received and processed, our legal department will be instructed to prepare the Agreement.

## **Restrictions**

Please note that you cannot request the alteration of the following:

- a pipe carrying effluent between wastewater treatment works or;
- a pipe carrying effluent from a wastewater treatment works or;
- a pipe which is in a public highway. (Requests to alter pipes in highway must be made by a Highway Authority only under the provisions of the New Roads and Streetworks Act 1991.);
- A pipe which is an overflow pipe (from a Combined Sewer Overflow, pumping station wastewater treatment works etc.).

It should also be noted that a proposed alteration cannot be considered if the proposal will result in **detriment** to the sewer.

***Examples of Detriment include:***

1. The significant loss of capacity of the sewer and/or reduction in velocity of flow. This will be caused by:
  - an increase in the length of the sewer which results in the reduction of the gradient of the sewer,
  - the introduction of additional bends or sharper bends.

The extent to which alterations will produce significant loss will depend on the circumstances obtaining and you will be required to submit calculations to show the effect on the hydraulics of the system of your proposed alteration.

2. Reduction in ease of access to the sewer for maintenance.

We will not permit the alteration to a sewer if:

- the alteration will cause or increase sewer flooding in the catchment
- the sewer in question is of strategic significance

Where an alteration is permitted, we will carry out the work ourselves if:

- the alteration involves work on or near a combined sewer overflow
- the alteration involves work on or near a public sewage pumping station
- the alteration involves work on a pumping main

**Note: Further information, a detailed description of our requirements (and specification) can be obtained via our website ([www.dwrcymru.com/developerservices](http://www.dwrcymru.com/developerservices)). Alternatively, you can contact us on 0800 917 2652 to request a hard copy.**



## **Linzie Brown**

Atkins Limited  
The Hub, 500 Park Avenue  
Aztec West  
Almondsbury  
Bristol, BS32 4RZ

**Email:** [linzie.brown@atkinsglobal.com](mailto:linzie.brown@atkinsglobal.com)

**Telephone:** +44 (0) 1454 662469