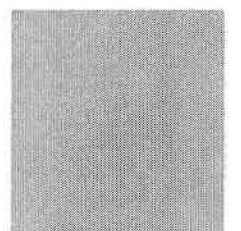


VALE of GLAMORGAN



BRO MORGANNWG

QUESTIONNAIRE



QUESTIONNAIRE



APPEAL QUESTIONNAIRE

To be used for all Planning, Listed Building Consent or Conservation Area Consent appeals

APPEAL REF: APP /Z6950/A/08/2081005

GRID REF: (E)296613(N)168913

APPEAL BY: Mrs. Pam Crosby

SITE: Plot adjacent to 2, River Walk, Llantwit Major

PLEASE SEND THE COMPLETED QUESTIONNAIRE (TOGETHER WITH ANY ENCLOSURES) TO THE INSPECTORATE AND TO THE APPELLANT OR AGENT WITHIN 14 DAYS OF THE OF THE START DATE.

If notification or consultation under an Act, Order or Departmental Circular would have been necessary before granting permission and has not yet taken place, please inform the appropriate bodies of the appeal now and ask for any comments to be sent direct to the Inspectorate within 6 weeks of the start date.

<p>1. Do the Council agree to the written representations procedure?</p> <p><u>OR</u> Do the Council wish to appear before and be heard by an Inspector at:</p> <p style="padding-left: 100px;">a. a local inquiry? b. a hearing?</p> <p>2. a. If the written procedure is agreed, can the relevant part of the appeal site be seen from a road, public footpath, bridleway or other public land?</p> <p style="padding-left: 20px;">b. Is it essential for the Inspector to enter the site to check measurements or other relevant facts?</p>	<p>YES / NO</p> <p>YES / NO YES / NO</p> <p>YES / NO</p> <p>YES / NO <i>(If YES, please attach details)</i></p>
<p>3. Does the appeal relate to an application for approval of reserved matters?</p> <p>4. Was an Article 7 (Regulation 6 for listed building or conservation area consent) certificate submitted with the application?</p> <p>5. Was it necessary for the Council to advertise the proposals under Article 8 of the GDPO 1995 and/or Section 73 of the Planning (Listed Buildings and Conservation Areas) Act 1990?</p>	<p>YES / NO</p> <p>YES / NO / NA</p> <p>YES / NO</p>
<p>6. Is the appeal site within an approved Green Belt or AONB? Please specify which</p> <hr/> <p>7. Is there a known surface or underground mineral interest at or within 400 metres of the appeal site which is likely to be a material consideration in determining the appeal?</p> <p>8. a. Are there any other appeals or matters relating to the same site or neighbourhood still before the National Assembly for Wales? If YES, please attach details and, where necessary, give the Inspectorate's reference numbers.</p> <p style="padding-left: 20px;">b. Where the development would affect a public right of way, please provide an extract from the Definitive Map and Statement for the area, and any other details.</p>	<p>YES / NO</p> <p>YES / NO <i>(If YES, please attach details)</i></p> <p>YES / NO</p> <p>YES / NO</p>

<p>9. Is the site within a Conservation Area? If YES, please attach a plan of the Conservation Area. (If NO, go to Q11.)</p> <p>10. Does the appeal relate to an application for conservation area consent?</p> <p>11. a Does the proposed development involve the demolition, alteration or extension of a Grade I / II* / II listed building? (Delete as appropriate.)</p> <p>b Would the proposed development affect the setting of a listed building? GRADE II - SWIMBRIDGE FARMHOUSE.</p> <p>If the answer to question 11a or b is YES, please attach a copy of the relevant listing description from the List of Buildings of Special Architectural or Historic Interest. (If NO, go to Q13.)</p> <p>12. Has a grant been made under Sections 3A or 4 of the Historic Buildings and Ancient Monuments Act 1953?</p> <p>13. Would the proposals affect an Ancient Monument (whether scheduled or not)?</p> <p>14. a Is the appeal site in or adjacent to or likely to affect an SSSI? If so, please attach the comments of the Countryside Council for Wales.</p> <p>b. Are any protected species likely to be affected by the proposals? If so, please give details.</p>	<p>YES / NO (If NO, go to Q11.)</p> <p>YES / NO</p> <p>YES / NO</p> <p>YES / NO</p> <p>YES / NO</p> <p>YES / NO</p> <p>YES / NO</p> <p>SEE ATTACHED ECOLOGY COMMENTS</p>
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<p>15. Copies of the following documents must, if appropriate, be enclosed with this questionnaire:</p> <p>a. Is the development in Schedule 1 or column one of Schedule 2 of the Town & Country Planning (Environmental Impact Assessment) (England & Wales) Regulations 1999? If so, please indicate which Schedule</p> <p>b. Is the development within a 'sensitive area' as defined by regulation 2 of the Town & Country Planning (Environmental Impact Assessment) (England & Wales) Regulations 1999?</p> <p>c. Has a screening opinion been placed on Part 1 of the planning register?</p> <p>d. Is flooding an issue?</p> <p>i. If Yes, has a Flood Risk Assessment been submitted?</p> <p>e. Any comments or directions received from the National Assembly for Wales, other Government Departments or statutory agencies / undertakers whether or not as a result of consultations under the GDPO;</p> <p>f. Any representations received as a result of an Article 7 (or Regulation 6) notice;</p>	<p>YES / NO Sch 1 Sch 2 col 1</p> <p>YES / NO</p> <p>YES / NO (If yes, please attach a copy)</p> <p>YES / NO</p> <p>YES / NO</p> <p>No. Docs Enclosed N/A</p> <table border="1"> <tr> <td data-bbox="1197 1792 1300 1937">5</td> <td data-bbox="1300 1792 1404 1937"></td> </tr> <tr> <td data-bbox="1197 1937 1300 2027"></td> <td data-bbox="1300 1937 1404 2027">✓</td> </tr> </table>	5			✓
5					
	✓				

<p>g. Copy of any notice published under Article 8 of the Planning (Listed Buildings and Conservation Areas) Act 1990 and/or Regulation 5; or Section 73 of the Planning (Listed Buildings and Conservation Areas) Act 1990 and/or Regulation 5</p> <p>h. Any representations received as a result of a notice published under Article 8 and/or Section 73 of the Planning (Listed Buildings and Conservation Areas) Act 1990 (or Regulation 5);</p> <p>i. Details of any other applications or matters currently before the Council relating to the same site;</p> <p>j. In the case of appeals against non-determination, details of considerations likely to have been relevant to the Council's decision;</p> <p>k. A list of any conditions or limitations the Council would favour if the appeal were to be allowed; TO BE INCLUDED IN LPAs STATEMENT IF APPLICABLE</p> <p>l. Any other relevant information or correspondence the Council consider the Inspectorate should be aware of. TPO ON SITE.</p>	3		
	IF ANY, THESE ARE INCLUDED UNDER Q.16bii.		
	✓		
	✓		
	1		

16 a. Please confirm that; in accordance with the Regulations, you have notified details of the appeal to authorities and other persons who made representations to you about the application and on what date you did so

YES / NO
18/8/08

b. Copies of the following documents must, if appropriate, be enclosed with this questionnaire.

	No. Docs Enclosed	N/A
i interested party notification letter	2	
ii representations received from interested parties about the original application	12	
iii the planning officer's report to committee (officer delegated)	1	
iv any relevant committee minute (dealt with under L.P.A. officer delegated procedure)		✓
v 2 plans of the site - (1:10,000 & 1:1250) reproduced from O.S. digital map	2	

17. Relevant plans and policies - please enclose extracts of relevant policies and plans and explanations of these. Each extract should include the front page, showing the title of the plan and date of approval or adoption. Where plans and policies have not been approved or adopted, the stage and status of the plan should be given.

	2	
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18. Do the documents listed above comprise the Council's full statement of case?

~~YES~~ / NO

Council's reference: 2007/01700/FUL

I certify that a copy of this appeal questionnaire and any enclosures have today been sent to the appellant or agent.

Signature: L. Chidester on behalf of Council

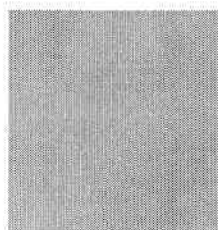
Date of despatch: 19/8/08

NB: PLEASE TELL US OF ANY CHANGES TO THE INFORMATION YOU HAVE GIVEN ON THIS FORM.

*(Rev Sep 2006)



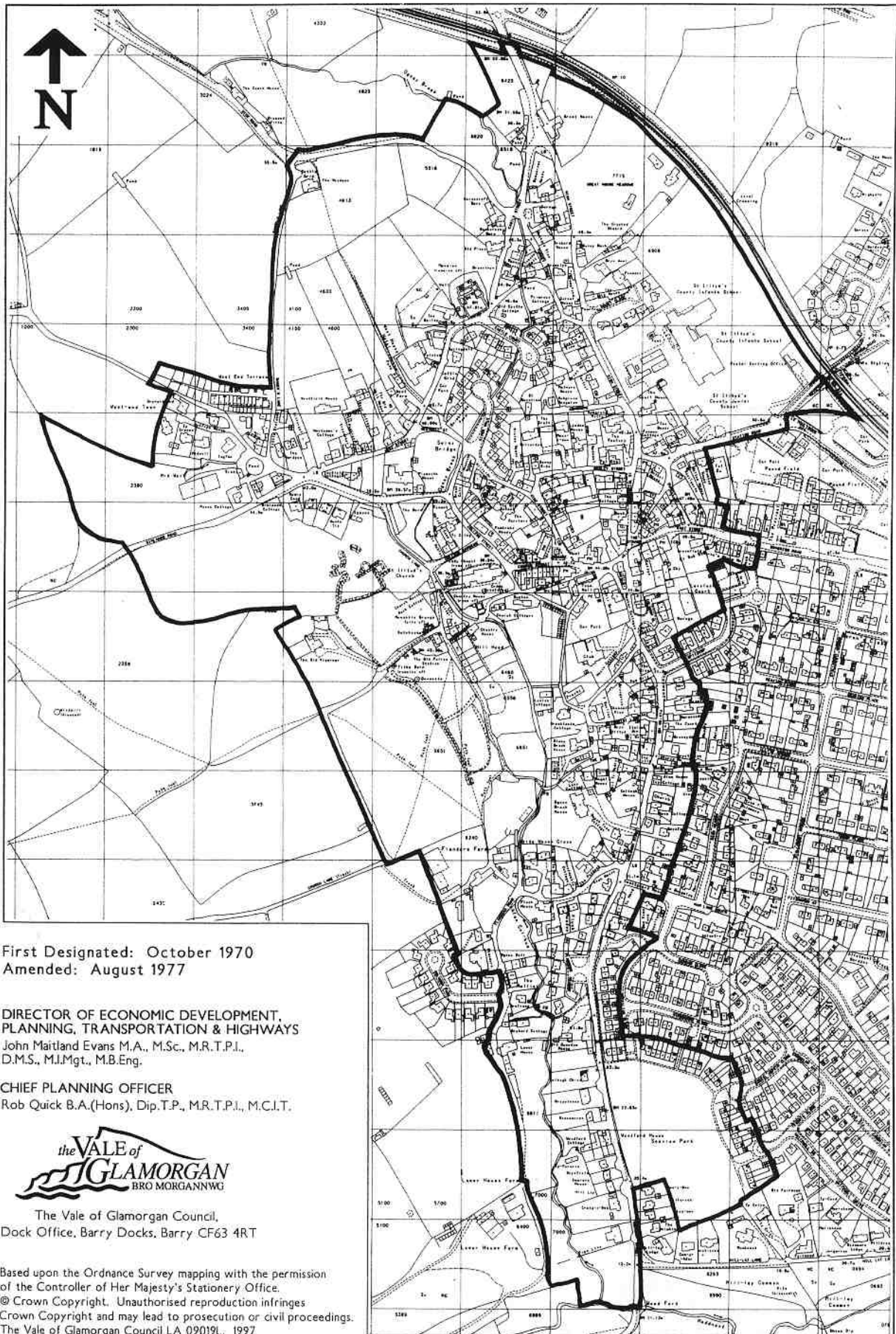
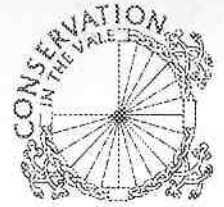
QUESTION 9



QUESTION 9



LLANTWIT MAJOR CONSERVATION AREA



First Designated: October 1970
Amended: August 1977

DIRECTOR OF ECONOMIC DEVELOPMENT,
PLANNING, TRANSPORTATION & HIGHWAYS
John Maitland Evans M.A., M.Sc., M.R.T.P.I.,
D.M.S., M.J.Mgt., M.B.Eng.

CHIEF PLANNING OFFICER
Rob Quick B.A.(Hons), Dip.T.P., M.R.T.P.I., M.C.I.T.



The Vale of Glamorgan Council,
Dock Office, Barry Docks, Barry CF63 4RT

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Crown Copyright and may lead to prosecution or civil proceedings.
The Vale of Glamorgan Council LA 09019L, 1997



QUESTION 11b

QUESTION
11b

		Grade	II
		Date Listed	09/10/1982
Community	Llantwit Major		
Locality	Llantwit Major	Grid Ref	29658 16890
		Record No	13282
Post Code			
Name	Swimbridge Farmhouse with attached garden walls		
Entry Name/No	Swimbridge Farmhouse with attached garden walls / 969		
Street No, Name			

Location

About 200m north of the Church of St. Illtud.

History

c1600 original gable entry two unit house, remodelled externally and with a west addition 1812 (although there was an earlier addition with a higher roof-line); later alterations in both the mid C20 and late C20 since listing in 1982 and all the joinery dates from then.

Exterior

Probably local rubblestone walls with roughcast cladding. Welsh slate gabled roof with rendered stone flanking stacks. Two storey single depth plan farmhouse with lower two storey wing to left and single storey one to right, both in line. Upper and ground floor openings not in alignment. On ground floor, two sash windows two panes wide with horns, with a late C20 doorway with trellis porch to right; three 2-light wood casements on first floor. C17 type plank doors. Lower south-west service wing with 2-light window with small panes to left hand below, similar loft window in middle and wooden boarded door to right hand. Adjoining north-east outbuilding with gabled slate roof and whitewashed stone rubble walls, late C20 windows. Rear elevation with two storey wing and similar windows.

Garden to south-east of house enclosed by stone rubble walls on south-east and south-west, the south-east wall with roughly rounded stone coping, serving as a north retaining wall along the Ogney Brook. The south-west garden wall with various stone copings; C19 iron gate towards northern end with circular uprights with arrowheaded finials rising alternately above top and middle rails. From north-west of gate, wall returns to service wing.

Interior

South-west room with three stopped and chamfered beams, arched, stopped and chamfered doorway to stone fireplace stair which has a corbelled roof. The fireplace has been revealed since listing in 1982. It has chamfered stone jambs, though with differing stops, and an oak lintel. The house has the rare feature of a stone wall dividing the hall and the inner room, rising through both floors. The present main door now enters the inner room. The south-west extension retains a bread oven with iron door.

Listed

Included as a late C16 to C17 house which, despite changes, retains both character and features of special interest.

Reference

RCAHMW, Glamorgan, Vol IV, Part 2, Farmhouses and Cottages, HMSO, 1988, 914, p 506. (Known as Swinebridge);
Goode and Philpot, Surveyors, Haverfordwest, Llantwit Major Tithe Map, 1840, Glamorgan County Reference Library, Bridgend;
Information from the owner.



QUESTION 14b

QUESTION
14b

**Consultation response: Head of Economic Development & Leisure
(Ecology)**

Application reference: 07/01700/FUL

Application site: Plot adjacent to 2, River Walk, Llantwit Major,

New 3-bedroom dwelling.

The ecology teams comments are as follows:

BATS AND TREES *

It is noted from the planning statement and tree report submitted in respect to this application that tree works including pruning and removal of dead branches will be undertaken on a mature ash tree. The tree report states that the tree provides an important habitat resource and may be used by bats as there are several open cavities present within the crown.

- It is recommended that the developer be made aware that British bats and their breeding sites and resting places are protected by law through UK legislation under the Wildlife and Countryside Act (1981) (as amended) and through European legislation under the Habitats Directive (EC Directive 92/43/EC), enacted in the UK through the Conservation Regulations (1994) (as amended). This legislation makes it an absolute offence to either damage or destroy a breeding or resting place (roost), to obstruct access to a roost site used by bats for protection and shelter, (whether bats are present at the time or not) or to intentionally or recklessly disturb a bat/bats within a roost.
- It is recommended that an assessment of any large/mature trees proposed for works/removal be conducted by a licensed bat surveyor to identify any which have may potential bat use. A full bat survey of any trees assessed to have bat potential should then be conducted by the licensed surveyor prior to the granting of planning permission to ascertain presence or absence of bats/bat roosts.
- In the event that the survey reveals the presence of bats/roosts, further advice must be sought from the Countryside Council for Wales (CCW) and their advice taken into account in making the planning decision. Appropriate mitigation measures as informed by the results of the survey should be conditioned into any consent.

GREAT CRESTED NEWT *

It is noted that several ponds lie within 500m of the application site, which is the recognised foraging range for a great crested newt. Great crested newts are widespread in the Vale of Glamorgan. Should this pond support breeding

populations, there is the possibility that great crested newts could be using the application site as terrestrial habitat.

- It is recommended that the applicant be informed that great crested newts and their breeding sites and resting places are protected by law through UK legislation under the Wildlife and Countryside Act (1981) (as amended) and through European legislation under the Habitats Directive (EC Directive 92/43/EC), enacted in the UK through the Conservation Regulations (1994) (as amended). This legislation makes it an absolute offence to either damage or destroy a breeding site or resting place, to obstruct access to a place used for shelter and protection or to intentionally or recklessly disturb great crested newt within a place used for shelter or protection.
- It is recommended that the following good practice guidelines be followed to minimise potential impacts on great crested newts, assuming potential presence on the application site:
 - In the event that great crested newt is found to be present on site, stop works immediately and seek advice from the Countryside Council for Wales, (CCW) (tel. 02920 772400).
 - Take particular care when disturbing materials/dense vegetation at ground level that could be being used by sheltering/hibernating great crested newts.
 - Keep grassland on/surrounding the development site short to discourage newts from entering site.

NESTING BIRDS

The vegetation on this application site may potentially be used by nesting birds.

- It is recommended that the developer be made aware that under the Wildlife and Countryside Act 1981 (Section 1) it is an offence to take, damage or destroy the nest of any wild bird while that nest is in use or being built.
- It is recommended that to comply with the law, a condition be included in any consent that states that any vegetation clearance should be done outside the nesting season, which is generally recognised to be from March to August inclusive, unless it can be demonstrated that nesting birds are absent. It should be noted that birds may still be nesting outside this season, therefore care should be taken to ensure that no nesting birds are affected.

WATERCOURSES.

It is noted that the proposed works are directly adjacent to the watercourse, Odney Brook. Watercourses may provide habitat for protected and priority

species and act as wildlife corridors. It is recommended that, wherever possible, efforts be made to avoid or at least minimise the impact of the works on biodiversity.

If work is necessary near to or on the above site the following recommendations are made:

- The developer should ensure that no damage to the banks of this brook or material enters the brook that will be detrimental to this feature.
- It is recommended that the stream and streamside vegetation, which form part of the south-eastern boundary be retained to act as a buffer.

***N.B.**

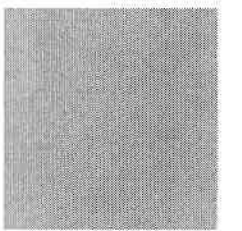
A developer will require a development licence from the National Assembly Wales government for any development that would contravene the protection afforded to European protected species (which include bats and great crested newts) under the Habitats Directive. Before such a licence can be granted, the following tests, specified in Article 16 of the Habitats Directive, must be satisfied:

- *the derogation (in the form of a licence) is "in the interests of public health and public safety, or for other imperative reasons of overriding public interest, including those of a social or economic nature and beneficial consequences of primary importance for the environment"*
- *there is "no satisfactory alternative" to the derogation*
- *the derogation is "not detrimental to the maintenance of the populations of the species concerned at a favourable conservation status in their natural range".*

Although derogations are currently granted by a licence issued to the developer by the National Assembly Wales government, local planning authorities are under a duty to have regard to the requirements of the Habitats Directive in exercising their functions. To avoid developments with planning permission subsequently not being granted a derogation in relation to European protected species, planning authorities should take the three requirements for a derogation into account when considering development proposals where a European protected species is present, and planning reports should demonstrate that the three tests have been applied.



QUESTION 15e



QUESTION 15e



Ball, Steve J

From: Crofts, Jane M
Sent: 08 January 2008 12:39
To: Dowd, Sara; Ball, Steve J; Robinson, Ian
Subject: Conservation Group Minutes 3 January 2008
Attachments: header.htm

VALE OF GLAMORGAN CONSERVATION ADVISORY GROUP

MINUTES of a meeting held on 3rd January, 2008.

Present: Councillor A.D. Dobbinson (Vice-Chairman), Mr. G. Haynes (Cowbridge and District Local History Society), Councillor H.C. Mustow (Bonvilston Community Council), Mrs. H. March (Llantwit Major Local History Society), Ms. P. Goodwin (Pride in Barry), Mr. R. Simpson (Council for the Protection of Rural Wales), Mr. G. Robertson (Penarth Society), Mr. M.R. Flynn (RTPI) and Mrs. S. Taylor (Llancarfan Society).

Officers: Mr. N. Lloyd, Mrs. J. Crofts and Mr. C. Hope.

(a) Apologies for absence -

These were received from Councillor Ms. R.M. Birch (Chairman), Mrs. E. Jervis (Wenvoe History Group), Mr. L. Millar (Cowbridge Charter Trust) and Mr. D. Black (Llantwit Major Chamber of Trade).

(b) Minutes -

AGREED - T H A T the minutes of the meeting held on 1st November, 2007 be accepted.

Whilst accepting that the minute was an accurate reflection of what had been said at the meeting, Mr. Haynes expressed concern that the information provided to him in respect of Chantry Rise, Llanblethian had been incorrect.

The wording in Minute (b) had stated:

"Mr. Haynes referred to discussions at the meeting on 30th August, 2007 concerning works to a house in Llanblethian, and asked if further information was available.

In reply, Mr. Haynes was informed that the works to which he referred, in Chantry Rise, Llanblethian, lay outside the Conservation Area boundary, and furthermore was not a "new build". As such it had been deemed not necessary for the application to be brought before the Conservation Advisory Group for consideration".

Mr. Haynes produced a copy of the planning application for Chantry House, and pointed out that the form had contained the words "new build".

Furthermore, Mr. Haynes advised that the Conservation Group, in June 2007, had considered an application relating to a property next door to Chantry Rise, even though this too lay outside of the

COMMITTEE NAME

Mrs. Pam Crosby, 2, River Walk, Llantwit Major, Vale of Glamorgan, CF61 1SY
Alan Gillard RIBA, 7, Kemps Covert, St. Donats, Vale of Glamorgan, CF61 1YZ

Plot adjacent to 2, River Walk, Llantwit Major

New 3 bedroom dwelling.

RECOMMENDED - REFUSAL - The Group felt that the application should be refused on the grounds that the form, scale and design of the application were inappropriate and would not preserve or enhance the character of the Conservation Area.

(e) Conservation Area Appraisals -

Members of the Group were advised regarding the preparation of 21 Conservation Area appraisals in the rural villages.

Members recalled the contents and recommendations of a report by consultants (the Conservation Studio) concerning issues of wider conservation area management. The report ("Valuing Distinctive Places") had been discussed at the last extended meeting of the Group on 26th July, 2007.

With regard to the findings of the report, it was recognised that a new programme of conservation area appraisals was required to provide assessments of the 38 conservation areas in the Council's area. Whilst the Council had completed 14 such studies in the past, there was a need to bring these up-to-date and to prepare new appraisals for those areas which currently had no such coverage.

The objective of the preparation of appraisals was briefly as follows to:

- achieve consensus on what is to be protected or enhanced
- formulate effective policies, having regard to the preparation of the Local Development Plan
- provide a background to making sensitive development control decisions
- be able to justify a designation when making development control decisions and at appeals
- make sympathetic proposals for the preservation and enhancement of the area's character and appearance, including the identification of potential development opportunities if and where appropriate
- help residents, traders and other interested parties to understand the background to designation
- to help applicants for planning permission to formulate proposals.

The Council had recently commissioned the Conservation Studio to prepare 19 conservation area appraisals. The villages involved were:

Aberthin, Boverton, Broughton, Colwinston, Dinas Powys, Llancadle, Llandow, Llangan, Llanmaes, Llantrithyd, Llanmihangel, Michaelston-le-Pit, Monknash, Pendoylan, Peterston-Super-Ely, Porthkerry, Rhoose, Saint Georges, Saint Brides Major.

In addition, the Council was currently preparing a pilot appraisal for Penmark which provided a framework for the other studies. It would also prepare an appraisal for the hamlet of Drope.

The appraisal programme was organised in five packages:

Group	Villages	Anticipated Date of Final Draft Documents
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Highway Observations

VALE OF GLANBORGAN



07 / 01700 / Full

RE:- Plot adjacent to number 2 River Walk, Llantwit Major.

Further to a recent site inspection carried out in relation to the submitted planning application to construct a three bedroom detached dwelling within the plot of land adjacent to number 2 River Walk.

The Highway Authority would inform the Local Planning Authority that the proposed point of access to the site is via an existing dropped crossing facility which appears to have been constructed at the same time as the surrounding access serving the neighbouring residential dwellings.

In this instance no highway objections would be raised to the proposals subject to the following conditions being satisfied in the interest of highway / public safety:-

- (1) There shall be no structures e.g walls inclusive of piers, fencing, gates etc or Planting when mature shall exceed 900mm in height above carriageway channel level shall be located adjacent to the adopted highway in order to maintain the existing vision splays.
- (2) Provide and maintain for each of the proposed dwelling a minimum of two number parking bays within the confines of the site in accordance with the Parking Guidelines based on a three bedroom dwelling with a gross floor area less than or equal to 120m².
- (3) All areas required for onsite parking shall be surfaced in a bound material to be agreed and approved by the Local Planning Authority before the proposed dwelling is brought into beneficial use.
- (4) No gates greater than 900mm in height shall be erected fronting onto the adopted highway in the interest of highway safety.
- (5) No gates whatsoever shall be located and fitted to open out over the adopted highway in the interest of highway / public safety. (All gates shall open inwards)
- (6) The applicant is to be advised by the Local Planning Authority that any works immediately adjacent to or within the limits of the adopted highway i.e modify the existing vehicular access / crossover will require authorisation from the Local Highway Authority.

The applicant is required to contact Mr Peter Coughlan on 02920 – 673051 to agree construction details and for permission to work within the limits of the adopted Highway.

- (7) The applicant is to be advised that all costs associated with works within the limits of the adopted highway e.g widening of the existing vehicular crossover or the alterations to existing highway furniture / statutory undertakers apparatus located within the limits of the adopted highway shall be borne solely by the applicant and not the Vale of Glamorgan Council.

The applicant is required to submit to the Local Planning Authority for approval all necessary details to satisfy the aforementioned conditions.



L. M. Howells
2nd January 2008

Planning Officer:- Mr Steve J Ball (STB)

Enc:- Site Photographs dated 2nd January 2008

**Consultation response: Head of Economic Development & Leisure
(Ecology)**

Application reference: 07/01700/FUL

Application site: Plot adjacent to 2, River Walk, Llantwit Major,

New 3-bedroom dwelling.

The ecology teams comments are as follows:

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***N.B.**

A developer will require a development licence from the National Assembly Wales government for any development that would contravene the protection afforded to European protected species (which include bats and great crested newts) under the Habitats Directive. Before such a licence can be granted, the following tests, specified in Article 16 of the Habitats Directive, must be satisfied:

- *the derogation (in the form of a licence) is "in the interests of public health and public safety, or for other imperative reasons of overriding public interest, including those of a social or economic nature and beneficial consequences of primary importance for the environment"*
- *there is "no satisfactory alternative" to the derogation*
- *the derogation is "not detrimental to the maintenance of the populations of the species concerned at a favourable conservation status in their natural range".*

Although derogations are currently granted by a licence issued to the developer by the National Assembly Wales government, local planning authorities are under a duty to have regard to the requirements of the Habitats Directive in exercising their functions. To avoid developments with planning permission subsequently not being granted a derogation in relation to European protected species, planning authorities should take the three requirements for a derogation into account when considering development proposals where a European protected species is present, and planning reports should demonstrate that the three tests have been applied.



Dŵr Cymru
Welsh Water

PO Box 10
Treharris
CF46 6XZ

Tel: +44 (0) 1443 331155
Fax: +44 (0) 1443 331161
Web site: www.dwrcymru.com

Blwch Post 10
Treharris
CF46 6XZ

Fôn: +44 (0) 1443 331155
Ffacs: +44 (0) 1443 331161
Sallu gwe: www.dwrcymru.com

Director of Planning
Vale of Glamorgan County Borough
Council
Dock Office
Holton Road
Barry Docks
Barry
CF63 4RT

Date: 18/12/2007
Enquiries Tel.: 01443331155
Our Ref.: 2007/DCWW/49783
Your Ref.: 2007/01700/FUL
Grid Ref.: SS9661468912

Dear Sir

Re: Dwelling, Plot adj to 2 River Walk, Llantwit Major

Further to the above consultation we would provide the following comments:-

We would request that if you are minded to grant Planning consent for the above development that the **Conditions and Advisory Notes** listed below are included within the consent to ensure no detriment to existing residents or the environment and to Dwr Cymru Welsh Water's assets.

SEWERAGE

Conditions

Foul water and surface water discharges shall be drained separately from the site.

Reason :- To Protect the integrity of the Public Sewerage System.

No surface water shall be allowed to connect (either directly or indirectly) to the public sewerage system unless otherwise approved in writing by the L.P.A.

Reason :- To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no detriment to the environment.

Land drainage run-off shall not be permitted to discharge, either directly or in-directly, into the public sewerage system.

Reason :- To prevent hydraulic overload of the public sewerage system and pollution of the environment.

The proposed development site is crossed by a public sewer with the approximate position being marked on the attached Statutory Public Sewer Record. Under the Water Industry Act 1991 Dwr Cymru Welsh Water has rights of access to its apparatus at all times. No part of the building will be permitted within 3 metres either side of the centreline of the public sewer.

Reason : To protect the integrity of the public sewer and avoid damage thereto.

glas

Glas Cymru Cyllyngedig

Welsh Water owned by Glas Cymru - a 'not for profit' company
Mae Dwr Cymru yn cael ei Gwasgwrdd Glas Cymru - cwmni heb elw

We welcome correspondence in Welsh and English
Rydym yn croeso â phedwar iaith y Gymraeg a'r Saesneg

NID ydych chi'n gwasgwrdd wrth Dwr Cymru yn parhysu'r
plannu a'r datblygu'r ddiwydiol.

Dwr Cymru Cyllyngedig - cwmni heb elw
Ydych chi'n cael ei Gwasgwrdd Glas Cymru - cwmni heb elw
Nid ydych chi'n gwasgwrdd wrth Dwr Cymru yn parhysu'r
plannu a'r datblygu'r ddiwydiol.

NID ydych chi'n gwasgwrdd wrth Dwr Cymru yn parhysu'r
plannu a'r datblygu'r ddiwydiol.

Dwr Cymru Cyllyngedig - cwmni heb elw
Ydych chi'n cael ei Gwasgwrdd Glas Cymru - cwmni heb elw
Nid ydych chi'n gwasgwrdd wrth Dwr Cymru yn parhysu'r
plannu a'r datblygu'r ddiwydiol.

Advisory Notes

If a connection is required to the public sewerage system, the developer is advised to contact Dwr Cymru Welsh Water's Network Development Consultants on Tel: 01443 331155.

We hope the above is satisfactory. However, should you require further assistance please contact us on the above telephone number, quoting our reference.

Yours faithfully,


Rhidian Clement
Planning Team Leader

Our response is based on the information provided by your application/enquiry. Should the information change then we reserve the right to make new representation.
49783

creu lle gwell
creating a better place



Asiantaeth yr
Amgylchedd Cymru
Environment
Agency Wales

The Vale Of Glamorgan Council
Development Control
Docks Office Subway Road
Barry
South Glamorgan
CF63 4RT

Our ref: SE/2007/104795/01-L01
Your ref: P/DC/SJB/2007/01700/FUL
Date: 31 December 2007

Dear Sir/Madam

**NEW 3 BEDROOM DWELLING PLOT ADJACENT TO 2 RIVER WALK,
LLANTWIT MAJOR, VALE OF GLAMORGAN, CF61 1YZ**

Thank you for referring the above planning application, which was received on 14 December 2007.

The application site lies *entirely in accordance with TAN15, the development category is regarded as highly vulnerable. The TAN states that such developments should not be permitted within within zone C2, as defined by the development advice map (dam) referred to under Technical Advice Note (TAN 15) Development and Flood Risk (July 2004).* Our Flood Map information, which is updated on a quarterly basis, confirms the site to be within the extreme flood outline.

If your Authority is minded to approve the application contrary to TAN 15, the applicant must be required to undertake a flood consequence assessment (FCA) prior to determination of the application. We should then be asked for advice on this assessment in accordance with TAN15. This will ensure that all parties are aware of the risks to, and from, the development, and ensure that if practicable, appropriate conditions to manage the risks can be incorporated in any planning permission.

The criteria for the FCA, which should normally be undertaken by a suitably qualified person carrying an appropriate professional indemnity, are given under Section 7 and Appendix 1 of TAN15.

In the absence of a FCA, we **object** to this application. We would therefore recommend that determination of the application be **deferred** in order for a FCA to be submitted. If any subsequent FCA fails to demonstrate that the consequences of flooding can be acceptably managed, then we will sustain our objection and recommend that the application be refused.

Environment Agency
Rivers House (St. Mellons Business Park) Fortran Road, St. Mellons, Cardiff, CF3 0EY.
Customer services line: 08708 506 506
Email: enquiries@environment-agency.gov.uk
www.environment-agency.gov.uk

Cont/d..



We are required to report to the Welsh Assembly Government those instances in which recommendations for refusal on grounds of flood risk, have not been accepted by Local Planning Authorities. Therefore, if planning permission is granted contrary to our recommendation, we would be grateful if you would provide us with a copy of the Committee report, relevant Committee minutes and the decision notice.

If you have any queries, please do not hesitate to contact me.

Yours faithfully

S. Wilkes

**SARA WILKES
Planning Liaison Officer**

Direct dial 029 20245091

Direct fax 029 20362920

Direct e-mail wilkes.Cardiff2.WLS@environment-agency.wales.gov.uk

cc Mr Alan Gillard

ENVIRONMENTAL
AND ECONOMIC
REGENERATION

03 JAN 2008

RECEIVED
End

NO. P83.
ACTION BY: SJB
RECEIVED
DEER

VALE of GLAMORGAN



QUESTION 15g

QUESTION1

5g

THE VALE OF GLAMORGAN COUNCIL

PLANNING (LISTED BUILDINGS AND CONSERVATION AREAS) ACT, 1990

DEVELOPMENT IN CONSERVATION AREAS

NOTICE is given that an application has been made to The Vale of Glamorgan Council for planning permission for the following development:

Plot adjacent to 2, River Walk, Llantwit Major

New 3 Bedroom dwelling

The site lies within the Llantwit Major Conservation Area.

The application documents are available for inspection during normal office hours from Monday to Friday at the offices of the Head of Planning and Transportation at the address given below.

Anyone who wishes to make representations with regard to this application should do so in writing to the Head of Planning and Transportation, within 21 days of the date of this notice, quoting reference 2007/01700/FUL.

Dated: 19th December 2007

A handwritten signature in black ink, appearing to read 'D. R. Thomas', written over a horizontal line.

Head of Planning and Transportation

The Vale of Glamorgan Council,
Dock Office,
Barry Docks,
Barry.
CF63 4RT

NOTICE OF APPLICATION FOR PLANNING PERMISSION

Town and Country Planning (General Development Procedure) Order, 1995

NOTICE UNDER ARTICLE 8

PLANNING REFERENCE: 2007/01700/FUL

Proposed development at **Plot adjacent to 2, River Walk, Llantwit Major**

I give notice that **Mrs Pam Crosby**, is applying to The Vale of Glamorgan Council for planning permission: **New 3 Bedroom dwelling**.

Members of the public may inspect copies of:

- the application
- the plans
- and other documents submitted with it

at The Dock Office, Barry Docks during normal office hours, 8.30 am. - 5.00 p.m. Monday to Thursday and 8.30 a.m. to 4.30 p.m. Friday.

Anyone who wishes to make representations about this application should write to the Head of Planning and Transportation at *The Vale of Glamorgan Council, Dock Office, Barry Docks, Barry. CF63 4RT*, **within 21 days of the date of this notice**.

PLEASE QUOTE THE ABOVE PLANNING REFERENCE.

Dated: 17th December 2007



Head of Planning and Transportation

**THE VALE OF GLAMORGAN
COUNCIL**

**PLANNING (LISTED BUILDINGS AND
CONSERVATION AREAS) ACT, 1990.**

NOTICE is hereby given that application has been made to the Council for planning permission for the undermentioned developments:

Developments in Conservation Areas

Application No: 2007/01683/FUL
Proposal: Two storey side extension
Location: 35, Bron Awelon, Barry
Conservation Area: Barry (Garden Suburb)
Application No: 2007/01684/FUL
Proposal: 2 storey rear extension to provide 10 en-suite rooms, extension to dining area and laundry
Location: Parkside Residential Home, 1-2, Park Road, Penarth
Conservation Area: Penarth
Application No: 2007/01700/FUL
Proposal: New 3 Bedroom dwelling
Location: Plot adjacent to 2, River Walk, Llantwit Major
Conservation Area: Llantwit Major

**TOWN AND COUNTRY PLANNING
(GENERAL DEVELOPMENT PROCEDURE) ORDER, 1995**

Application(s) that may be of General Public Interest

Application No: 2007/01565/FUL
Proposal: Erection of new small hangar, construction of new ground slab, external alterations to existing offices, provision of car parking spaces
Location: Land south of the runway, Batslays, MOD St. Alban

Please be advised that application No. 2007/00179/OUT - Land at ITV, Culverhouse Cross - Outline application for demolition of existing media studios and erection of new 3,250 sq.m. ITV Wales Headquarters (B1), 39,611 sq.m. of employment land including incubator units (B1), 212 residential units (C3), 8,840 sq.m. hotel space and an amenity building - has been WITHDRAWN.

Full details (including plans) may be inspected during normal working hours for a period of 21 days in the offices of the Head of Planning and Transportation at the address given below.

Dated: 19th December, 2007

Rob Thomas
Head of Planning and Transportation
The Vale of Glamorgan Council
Dock Office
Barry Docks
Barry, CF63 9RT