



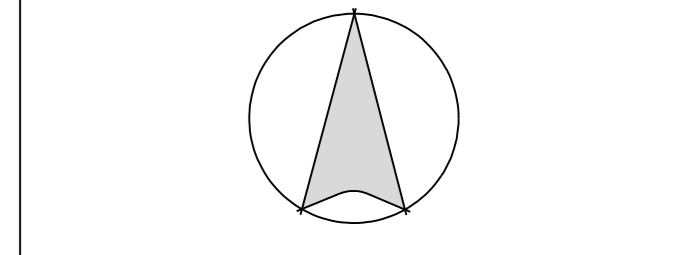
LAP F

**EXTERNAL WORKS LEGEND**

- 1.8m BRICK SCREEN WALL
- 1.8m EXTERNAL CLOSE BOARDED FENCE
- 1.2m PALISADE FENCE
- 1.2m STOCK PROOF WITH HEDGE PLANTING
- 1.1m VERTICAL RAILINGS
- 1.1m HORIZONTAL TIMBER FENCE
- TRO - DOUBLE YELLOW LINES
- TRIPLE TIMBER CARPORT
- FRONT/REAR DOOR POSITION
- SIDE WINDOW DETAIL (REFER TO HOUSE TYPE DRAWINGS)
- PERSONNEL GATE POSITION
- GARAGE/CAR PORT LOCATION
- PATIO DOOR LOCATION
- PLOT NUMBERS
- CAR PARKING ALLOCATION
- SEWER EASEMENT
- GROUND BATTER MARKINGS
- BLOCK PAVING
- SOCIAL HOUSING
- PROPOSED PUBLIC FOOTPATH FROM POS
- BIN COLLECTION POINT - AREA TBA
- COMPOST BIN LOCATION
- 1500MM WHEEL CHAIR TURNING CIRCLE
- WATER BUTT WITH AUTOMATIC OVERFLOW (REFER TO ENGINEERING LAYOUT FOR POSITION)
- GENERAL WASTE / RECYCLE SACK
- FOOD WASTE CADDY
- TIMBER SHED (2000)
- CYCLE STORAGE LOCATION
- TAP IN BIN STORAGE AREA
- DRYING LINE
- EQUIPPED PLAY AREA
- EXISTING HEDGES / TREES TO BE REMOVED
- PROPOSED HEDGE
- EXISTING TREES TO BE RETAINED
- EXISTING ROOF PROTECTION ZONE
- NOTE: REFER TO FULL LANDSCAPING DETAILS FOR PROPOSED TREE LOCATIONS
- MASONRY RETAINING WALL
- BANKING
- UNDERBUILD
- TANKING

THE CONTRACTOR IS TO COMPLY IN ALL RESPECTS WITH CURRENT BUILDING REGULATIONS, N.H.S.C. AND BUILDING REGULATIONS WHETHER OR NOT SPECIFICALLY STATED ON THIS DRAWING.  
THIS DRAWING MUST BE READ AND CHECKED AGAINST ANY STRUCTURAL, GEOTECHNICAL OR OTHER SPECIALIST DOCUMENTATION OR PLANS PROVIDED.  
THIS DRAWING IS NOT INTENDED TO SHOW DETAILS OF FOUNDATIONS, GROUND CONDITIONS OR GROUND CONTAMINANTS. EACH AREA OF GROUND REQUIRING SUPPORT ANY STRUCTURE DEPICTED (INCLUDING FOUNDATIONS) MUST BE INVESTIGATED BY THE CONTRACTOR AT A SUITABLE METHOD OF FOUNDATION SHOULD BE PROVIDED ALLOWING FOR GROUND CONDITIONS AND SUBSTRUCTURE CONSTRUCTION. DRAWINGS INDICATE TYPICAL BULBS AND ARE NOT TO BE TAKEN AS A GUIDE AND SHOULD BE FURTHER INVESTIGATED BY A SUITABLE EXPERT.  
WHERE EXISTING TREES ARE SHOWN TO BE RETAINED THEY SHOULD BE SUBJECT TO FULL ARBORICULTURAL INSPECTION FOR SAFETY. A SUITABLE METHOD OF FOUNDATION IS TO BE PROVIDED TO ACCOMMODATE PROPOSED TREE PLANTING.

**General Notes**



HOUSE TYPE	Accommodation	Bed	Size	Number
Hampton	Fa	05	1515	05no
Bonville	Bo	04	1321	07no
Barbury	Ba	04	1225	06no
Bentley	Ba	04	1215	03no
Carroll	Ca	04	1075	03no
Broughton	Br	03	1008	05no
Burleigh	Bu	03	1008	01no
1 Bed Apartment	1B	01	480	06no
Ogborne	Og	02	806	11no
Wye	Wv	03	1061	02no
Wife	Wf	04	1179	01no
<b>Site Total</b>				<b>68 no</b>

Rev	Date	By	Comment
B	16.10.17	DA	Updated to layout 100 Rev D
B	04.10.17	DA	Updated to layout 100 Rev C
A	24.07.17	DA	Updated to layout 100 Rev A

**RESIDENTIAL DESIGN PLANNING CIVIL ENGINEERING DESIGN**

**Hammonds Yates**

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Client  
**Edenstone Homes Ltd**  
Dinas Powys

Project Title  
**Planning Layout**

Drawing Title  
**External Works**

Drawn By	Scales	Date	Drawn No.	Rev.
1628	1:200	AO	May 2017	C

**Short**

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